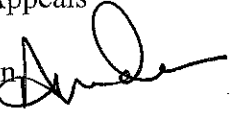




Planning, Zoning and Inspections
509 North McDonough Street
P.O. Box 220
Decatur, Georgia 30031
404-370-4104 ■ Fax 404-370-0691
info@decaturga.com ■ www.decaturga.com

March 5, 2014

TO: Zoning Board of Appeals

FROM: Amanda Thompson 
Planning Director

RE: Zoning Board of Appeals meeting scheduled for March 10, 2014

The following items are scheduled for your consideration at the Zoning Board of Appeals meeting on **Monday, March 10, 2014 at 7:30 PM** in the City Commission room in City Hall at 509 North McDonough Street.

1. Gordon Goodman has requested a variance from minimum front yard, side yards, rear yard, and floor area requirements for the property at 316 East Lake Drive.

2. Thrive Homes, LLC has requested a variance from the supplementary regulations to high-density single-family zoning districts for the property at 109 Hibernia Avenue.

3. Chris Spencer has requested a variance from the minimum side yard requirements for the property at 126 Emerson Avenue.

4. Andrew and Shelley Hammond have requested a variance from the minimum side yard requirements for the property at 133 Barry Street.

5. Alan Corey has requested a variance from the minimum setback requirements for a two story accessory building for the property at 538 East Lake Drive.

Please contact me if you have any questions about these items.

Agenda
Decatur Zoning Board of Appeals
Decatur City Hall
509 North McDonough Street
March 10, 2014
7:30 PM

1. Gordon Goodman has requested a variance from minimum front yard, side yards, and rear yard requirements for the property at 316 East Lake Drive.
2. Thrive Homes, LLC has requested a variance from the supplementary regulations to high-density single-family zoning districts for the property at 109 Hibernia Avenue.
3. Chris Spencer has requested a variance from the minimum side yard and front yard requirements for the property at 126 Emerson Avenue.
4. Andrew and Shelley Hammond have requested a variance from the minimum side yard requirements for the property at 133 Barry Street.
5. Alan Corey has requested a variance from the minimum setback requirements for a two story accessory building for the property at 538 East Lake Drive.

Consistent with the requirements of O.C.G. A. 50-14-1. (e) (1) an agenda was posted on Thursday, February 20, 2014.

Summary
Decatur Zoning Board of Appeals
Decatur City Hall
509 North McDonough Street
February 10, 2014
7:30 PM

Present: Dobbs, Leavey, Lewis, Pawloski, Smith

1. The Decatur Housing Authority has requested a variance from the minimum stream buffer requirements for the property at 421 West Trinity Place.

On a motion by Mr. Smith, second by Mr. Leavey and all voting "aye," the Board of Appeals approved a variance from the minimum stream buffer requirements for the property at 421 West Trinity Place subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

2. Jeff Wren has requested a variance from the minimum front yard requirements for a property at 142 Poplar Circle.

On a motion by Mr. Leavey, second by Mr. Smith and all voting "aye," the Board of Appeals approved a variance from the minimum front yard requirements for a property at 142 Poplar Circle subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

3. Nick Beaudry Homes has requested a variance from the minimum side yard requirements for the property at 231 Fairview Avenue.

On a motion by Mr. Lewis, second by Mr. Leavey and all voting "aye," the Board of Appeals approved variance from the minimum side yard requirements for the property at 231 Fairview Avenue subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

4. Brian Smith has requested to enlarge a non-conforming accessory building resulting in a variance from the minimum setback requirements and maximum floor area requirements for accessory buildings for the property at 232 Spring Street.

On a motion by Mr. Leavey, second by Mr. Smith and all voting "aye," the Board of Appeals tabled the variance request for 232 Spring Street.

5. Mark Rasberry has requested to enlarge a non-conforming accessory building resulting in a variance from the minimum setback requirements and maximum floor area requirements for the property at 727 Avery Street.

On a motion by Mr. Smith, second by Mr. Lewis and all but Mr. Leavey and Mr. Pawloski voting "aye," the Board of Appeals approved a variance from the maximum floor area limits for an accessory dwelling unit for the property at 727 Avery Street subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

Mr. Leavey and Mr. Pawloski voted "no."

On a motion by Mr. Smith, second by Mr. Lewis and voting "aye," the Board of Appeals approved a variance from the maximum floor area limits for an accessory building for the property at 727 Avery Street subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

On a motion by Mr. Smith, second by Mr. Lewis and all but Mr. Pawloski voting "aye," the Board of Appeals approved a variance from the maximum wall height and minimum side yard setback requirements for an accessory building for the property at 727 Avery Street subject to the condition that the variance and construction shall be limited to and conditioned by plans substantially similar to those submitted with the application.

Mr. Pawloski voted "no."

Consistent with the requirements of O.C.G. A. 50-14-1. (e) (1)a a summary was posted on Tuesday, February 11, 2014.

Development Department Staff Report
March 2014

Applicant: Provenance Construction
Address of Property: 316 East Lake Drive
Present Zoning: R-60 – Single Family Residential

1. Subject property is a 123 foot wide lot that was originally developed with a one-story single-family dwelling. The property has 5,083 square feet of lot area. The previous house was nonconforming in all setbacks. The ZBA tabled this agenda item at their meeting in January 2014.
2. The applicant wished to add a second story to an existing house. The project was permitted as a renovation with no site work included in the scope of work. A framing inspection indicated that the existing house had been deconstructed down to the foundation. The project was reclassified as new construction and work was stopped. The applicant wishes to utilize the existing foundation and framed walls. The applicant has submitted updated plans for the modification of interior walls and floor systems to reduce the floor area of the house to bring it in compliance with the 40% limit on floor area.

Variances Needed for Proposed Project	Existing	Proposed	Ordinance
Minimum Front Yard Requirements	11 feet	10 feet	15 feet
Minimum Rear Yard Requirements	20 feet	20 feet	30 feet
Minimum Side Yard (South) Requirements	2 foot	2 foot	10 feet
Minimum Side Yard (North) Requirements	7 feet	7 feet	10 feet
Minimum Side Yard for unroofed porch	1 foot	1 foot	5 feet

3. This site is allowed 3,171.8 square feet of lot coverage or 62.4%. The applicant has proposed 1,386 square feet of lot coverage or 27%.

The as built plans show a floor area of 2,121 square feet and the proposed plan shows a floor area of 1,937 square feet or 38%.

R-60

RM-60-C

C-1

PO-C-1

C-1

C-1

R-60

CIRCLE

R-60

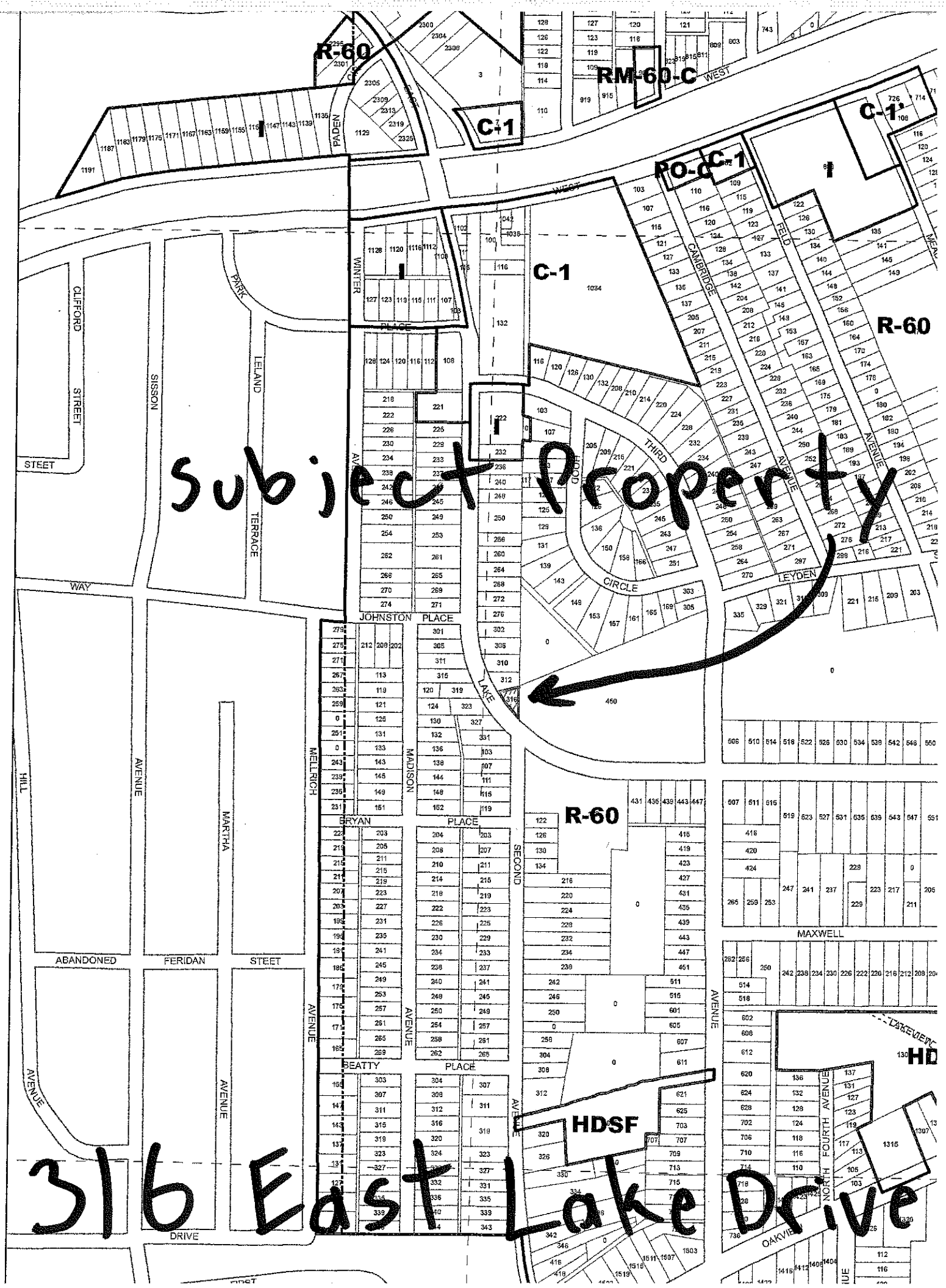
HDSF

HD

Subject Property



316 East Lake Drive



JAN 2014

Development Department Staff Report
January 2014

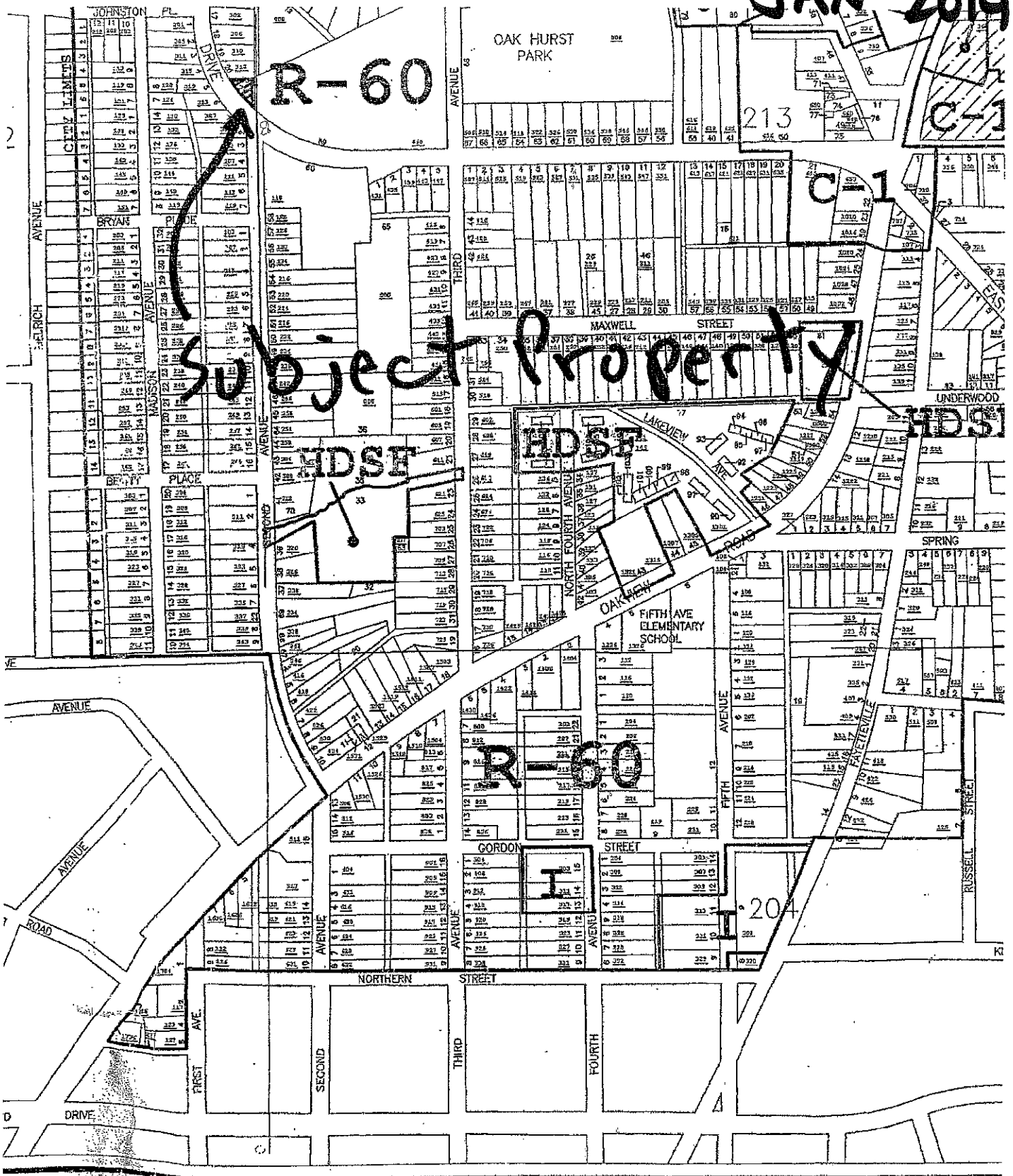
Applicant: Provenance Construction
Address of Property: 316 East Lake Drive
Present Zoning: R-60 – Single Family Residential

1. Subject property is a 123 foot wide lot developed with a single-family dwelling. The property has 5,083 square feet of lot area.
2. The applicant wished to add a second story to an existing one story house. The building was permitted as a renovation with no site work included in the scope of work. A framing inspection indicated that the house would be built from the foundation up. The house has been reclassified as new construction, but will utilize the existing foundation and footprint of the previous house. The previous house was nonconforming in all setbacks.

Variances Needed for Proposed Project	Existing	Proposed	Ordinance
Minimum Front Yard Requirements	11 feet	11 feet	15 feet
Minimum Rear Yard Requirements	20 feet	20 feet	30 feet
Minimum Side Yard Requirements	1 foot	1 foot	10 feet
Minimum Side Yard Requirements	7 feet	7 feet	10 feet
Minimum Side Yard for unroofed porch	0 feet	0 feet	5 feet
Maximum Floor Area	NA	43.3%	40%

3. The proposed project will meet the lot coverage limits for the site.

JAN 2014



316 East Lake Drive
LEGEND

JAN 2014



Application for Variance
City of Decatur, Georgia

Please print or type all information

Name of Applicant: Provenance Construction

Address: 2221 Peachtree Road
Atlanta GA 30309

Telephone: 678 618-8540

Name of Property Owner: Direct Properties

Address: 202 Paradise Peak Dr.
Las Vegas NV 89134

Telephone: 818-987

Address of property for which variance is sought: 316 East Lake Drive
Right, Left, Front and Rear Setback

Fee: Please include a check in the amount of \$100 payable to the City of Decatur.

Attachments: Attach a survey of the property and scale drawings showing existing and proposed improvements. Provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner.

Please provide the following information. All questions must be answered.

1. What is the variance requested? What code requirement do you wish to vary from? Set Backs Variance - R-60 Zoning

JAN 2014

2. What are the extraordinary and exceptional conditions pertaining to the specific piece of property in question (narrowness, shallowness, shape or topography)?

5,683 lot size Pie Shaped lot

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

limited buildable Foot Print

exists Structure currently exceeds all Set backs. We are attempting to maintain this Foot Print

4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?

NO

5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.

Variance would be required to build any Structure on this Site Attempting to preserve current use

6. Did the condition for which the variance is sought result from an action by the applicant?

NO

JAN 2014

7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.

No Impact

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

Occupable home

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



Signature of Applicant

Date:

10/23/13

JAN 2014



November 4, 2013

To Whom It May Concern:

I authorize Nave Edelshtein, our Project Manager and Gordon Goodman, our Builder to be our representatives in Decatur, Georgia in the Zoning Hearing for all matters regarding the property located at 316 East Lake Drive, Decatur GA 30030. If you have any questions, feel free to contact our office at 714-389-4500.

A handwritten signature in black ink, appearing to read "Udi Perez", written over a horizontal line.

Sincerely,

Udi Perez
Direct Properties, LLC
2029 Paradise Peak Drive
Las Vegas, NV 89134
714-389-4500 (office)
949-689-4474 (mobile)

A handwritten signature in black ink, appearing to read "Shari Pearson", written over a horizontal line.

Notary Signature



SUPPLEMENT TO VARIANCE APPLICATION OF PROVENANCE CONSTRUCTION

316 EAST LAKE DRIVE

TO VARY THE FOLLOWING REQUIREMENTS OF THE ZONING ORDINANCE:

- 1) The front yard setback requirements of Section 10.6.1 to allow for a front yard setback reduction and thereby allow the original front porch footprint to remain from 15 feet to 10.7 feet;**
- 2) The north side yard setback requirement of Section 7.2.3(6) to allow for a side yard setback reduction from 10 feet to 7.6 feet;**
- 3) The south side yard setback requirement of Section 7.2.3(6)) to allow for a side yard setback reduction from 10 feet to 2.1 feet;**
- 4) The setback requirement of Section 10.5.2 for open, unroofed porches to allow the original back/side porch to remain from 5 feet to approximately 1.5 feet;**
- 5) The rear yard setback requirement of Section 7.2.3(7) to allow for the new house as built to remain from 30 feet to as shown on the as built survey.**

Submitted by:

Linda I. Dunlavy

Dunlavy Law Group, LLC

1026 B Atlanta Avenue

Decatur, GA 30030

(404) 371-4101 Telephone

(404) 371-8901 Facsimile

ldunlavy@dunlavylawgroup.com

I. FACTUAL BACKGROUND RELEVANT TO VARIANCE REQUEST

316 East Lake Drive is a triangular historic lot of record located on the east side of East Lake Drive at the intersection of 2nd Avenue and East Lake Drive and zoned R-60. To the immediate east of the Subject Property is the Oakhurst dog park (owned by the Boys and Girls Club and largely in flood plain) and to the north is an older single family residence at 312 East Lake Drive. The property is only 5085 square feet (0.117 acres; approximately 4000 square feet less than the lot size minimum required) and encumbered by a sanitary sewer easement along its entire east side. The original home on the site was built in 1924 and did not conform to most of the current R-60 development standards. It was nonconforming as to all setbacks, lot area, and dwelling size. By the time of the purchase by Direct Properties, LLC, in May of 2013 the original house was in very poor condition. Photographs of the original home in 2013 are included with this Supplement. The new incomplete house on site is two stories on a crawl space, 33.3 feet in height and less than 2000 square feet. It will be clad in hardi-plank, has two front gables with 10/12 roof pitches and a brick water table. The front porch will have three box columns and a metal roof. The original rear/side porch of the home has been retained. There is no garage. An as-built survey is

submitted contemporaneously with this Supplement to show the existing setbacks, height, floor area ratio and lot coverage. Additionally, the Applicant submits what are titled "Proposed Plans" in conjunction with this Supplement. It proposes to make minor changes to the as built to reduce the FAR and to enhance the aesthetics of the home. Specifically, the revisions made on February 17, 2014, propose to revise windows at the rear of the home, add patio stairs and railings to the stoop on the south western side of the home and to eliminate the unfinished space on the second floor by vaulting the first floor family room ceiling and thereby reduce the as built floor area ratio.

Upon purchase of the property, because of the challenges posed by the substandard nature of the lot, its size and shape, Direct Properties intended to retain the existing foot print of the original house and three of the four original walls, renovate and add a second story. Plans for the renovation were submitted to and approved by the City in the fall of 2013. A copy of the renovation permitted plans are included with this Supplement and dated September 1, 2013. Unfortunately, upon stripping of the cladding from the original home it was discovered that the walls could not be saved due to termite damage and wood rot. The original foundation, front and side porches however were maintained such that the setbacks on the new home do not vary in any way from the foot

print of the original house. However, because failure to retain the walls required the Applicant to comply with new construction requirements, including setbacks, rather than renovation requirements, the Applicant filed for variances on October 23, 2013.¹ The City inspectors completed an inspection of the framing on the house November 5, 2013. A copy of the framing inspection is included with the Supplement materials. Rightly or wrongly, Applicant was under the impression from City officials that it could continue work on the house pending a decision on the variance application and it did so continue until such time as a stop work order was issued. This occurred one day after the framing inspection, on November 6, 2013. There has been no construction on the site since November 6th.²

Just like the house currently on the Subject Property, the original house was set back from the street 10.7 feet. The current home under construction has retained the brick floor of the original front porch and its original location. The original porch was screened and enclosed along its entire frontage. The new home's front porch would have a roofed front porch entry but be open at the

¹ Applicant had been verbally advised that due to the inability to utilize the original walls, the house was considered "new construction" and new construction setbacks etc would apply. The variance application of October 23, 2013, has been before the Board in December and in January of 2014. In January the Board "tabled" the matter and asked the Applicant to meet with neighbors and provide as built information for the Board's consideration.

² It should be noted that there is a minor difference between the permitted plans and the as built plans. The first floor master bedroom at the rear of the house on its south eastern side was moved in to create a two story bump in. As built plans are submitted with this Supplement.

sides. The majority of homes along this stretch of East Lake are set much closer to the front property line than the minimum 30 feet generally required in an R-60 zoning district. See photographs in packet to this Supplement. The setback average of the existing homes per Section 10.6.1 of the Zoning Ordinance along this stretch of East Lake, according to City staff, is 15 feet. The as built environment with respect to side yard setbacks also appears to be largely non-conforming along this stretch of East Lake. See photographs. For example, the neighboring home to the north has a single car garage less than one foot from its southern property line where it adjoins the Subject Property and several other homes along this stretch of East Lake appear to have less than 10 feet between structures and side lot lines.³ Similar to the Subject Property, the only separation between homes is often a driveway with a single line of trees providing a visual buffer between lots. This is evident in the photographs filed along with this Supplement.

³ Because there are no as built available and because Applicant cannot take measurements on private property of others, it can only say that the side yard setbacks "appear" to be non-conforming. However, filed contemporaneously with this Supplement is an accurate as built survey showing the current lay out of the lot and new home under construction.

The only significant difference between the house under construction, the old house and prior conditions is the fact that the new house is two stories rather than one. In reviewing the variance application it would seem that the key issue is whether somehow the addition of a second story impairs an adequate supply of light and air to adjacent property or increases the danger of fire, or impairs established property values within the surrounding areas. See condition no. 4 below.

II. APPLICABLE ORDINANCES

Applicant seeks variances from the R-60 development standards for side yard and rear yard setbacks. R-60 requires 10 foot side yards and 30 foot rear yards. See Sections 7.2.3(6) and (7). Applicant also seeks a variance from the setback averaging requirements of Section 10.6.1 and the requirement for uncovered porch setbacks found in Section 10.5.2 of the Zoning Ordinance⁴.

Section 12.5.2 of the Zoning Ordinance provides that variances may be granted by the Board if the following conditions exist:

1. That the special circumstances or conditions applying to the building or land in question are peculiar to such premises and do not apply generally to other land or buildings in the vicinity.

⁴ Originally it appeared that FAR and lot coverage variances would be needed. However, as can be seen from the as built survey and proposed plans such variances will not be needed. Lot coverage is at 27.25% as built and FAR at 38.09% below the maximums allowed.

2. That the granting of the application is necessary for the preservation and enjoyment of a property right and not merely to serve as a convenience to the applicant.
3. That the condition from which relief or a variance is sought did not result from action by the applicant.
4. That the authorizing of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or unreasonably diminish or impair established property values within the surrounding areas, or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City of Decatur.
5. That the granting of the variance will be in harmony with the general purpose and intent of the Decatur Land Use Plan.
6. That the granting of the variance will not allow a structure or use in a district restricted against such structure or use.

Applicant submits that it meets all the criteria for the variances requested as set forth in the Legal Argument section below.

III. LEGAL ARGUMENT IN SUPPORT OF VARIANCES REQUESTED

Per criterion No. 1 above, special circumstances or conditions apply to the Subject Property that are peculiar to the property and do not apply generally to other land or buildings in the vicinity. Of the 15 residential lots in the same block fronting on East Lake, the Subject Property is the only triangular lot. It is significantly shallower than the other lots and much smaller in area. The building envelope is only 19.2 feet wide at the rear and 34.4 feet deep on the north side.

The average lot fronting East Lake in the immediate vicinity of the Subject Property appears to be approximately 8000 square feet in area (approximately 3000 square feet larger than the Subject Property) and 120 feet + deep, whereas the Subject Property is only approximately 95 feet deep at its widest point. The size and shape of the lot are "special circumstances or conditions ...peculiar to" this property. Although the City of Decatur allows for the use of lots of record with less area than that required in the district in which it is located, per criterion No. 2 above, variances are necessary for the preservation and enjoyment of the right to use the property for a single family residence because no marketable house meeting modern standards could be built in the building envelope left after the application of the minimum required setbacks. Under such circumstances, the variances requested do not merely serve as a convenience to the applicant. Moreover, per criterion No. 3, the condition from which a variance is sought did not result from action by the Applicant. The old home was on exactly the same foot print for in excess of 85 years. The termite damage and wood rot in the walls was unknown to the Applicant until the cladding from the original house was removed. The Applicant did not create these conditions nor did it create the size and shape of the historically platted lot. Per criterion No. 5, the proposed single-family residence as built on the Subject Property will be in harmony with the

general purpose and intent of the Decatur Land Use Plan. Specifically, the new home on the property is a vast improvement over the deteriorated housing that previously occupied this space. Approval of the variances to enable it to remain as sited on the lot is consistent with the goals in the Land Use Plan of maintaining a small town quality of life and small town character while accommodating appropriate redevelopment and improving the individual character and identity of established neighborhoods. Per criterion No. 6 allowance of the requested variance will not allow a structure or use in a district restricted against such structure or use.

It is possible that someone will argue that the variance application does not meet criterion No. 4 above. However, upon close examination of that criterion, Applicant submits that it also meets that criterion and thus the requested variances must be granted. First, although the home on the Subject Property is two stories, rather than the previous one story home, the home will not impair an adequate supply of light and air to adjacent property. The only adjoining properties are the dog park, a non-developed wooded lot with no structures and 312 East Lake. Between the home on the Subject Property and the home at 312 East Lake is a row of tall mature hardwood trees, a driveway (approximately 10 feet wide), and some landscaping and then the house. As shown in the Google

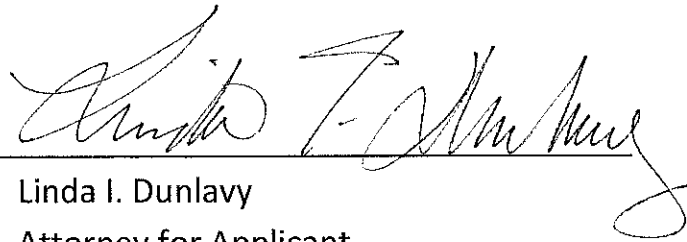
Earth street view photo included with this Supplement, there is adequate room to assure not only light and air but the row of trees provides visual buffering between the two properties. Congestion on the streets will not increase with the granting of these variances—one house is being replaced with one house. There is nothing credible to suggest that the granting of the variances will somehow increase the danger of fire, or imperil the public safety. The new structure will have a higher property value than the demolished home on site and be in substantially better condition. With an initial listing price of \$650,000, it will enhance not only property values nearby but improve the aesthetics from its previous condition. Even if a home could be built in the odd building envelope created by application of the required minimum setbacks, it would be an odd out of place structure that could diminish values within the surrounding area.

IV. CONCLUSION

In conclusion, the application meets all the criteria set forth in the Zoning Ordinance for the granting of the requested variances. As such, the Applicant requests that the Board of Zoning Appeals approve the variances requested and

allow the construction of the new home at 316 E. Lake to be completed such that it can contribute to the City and the immediate neighborhood.

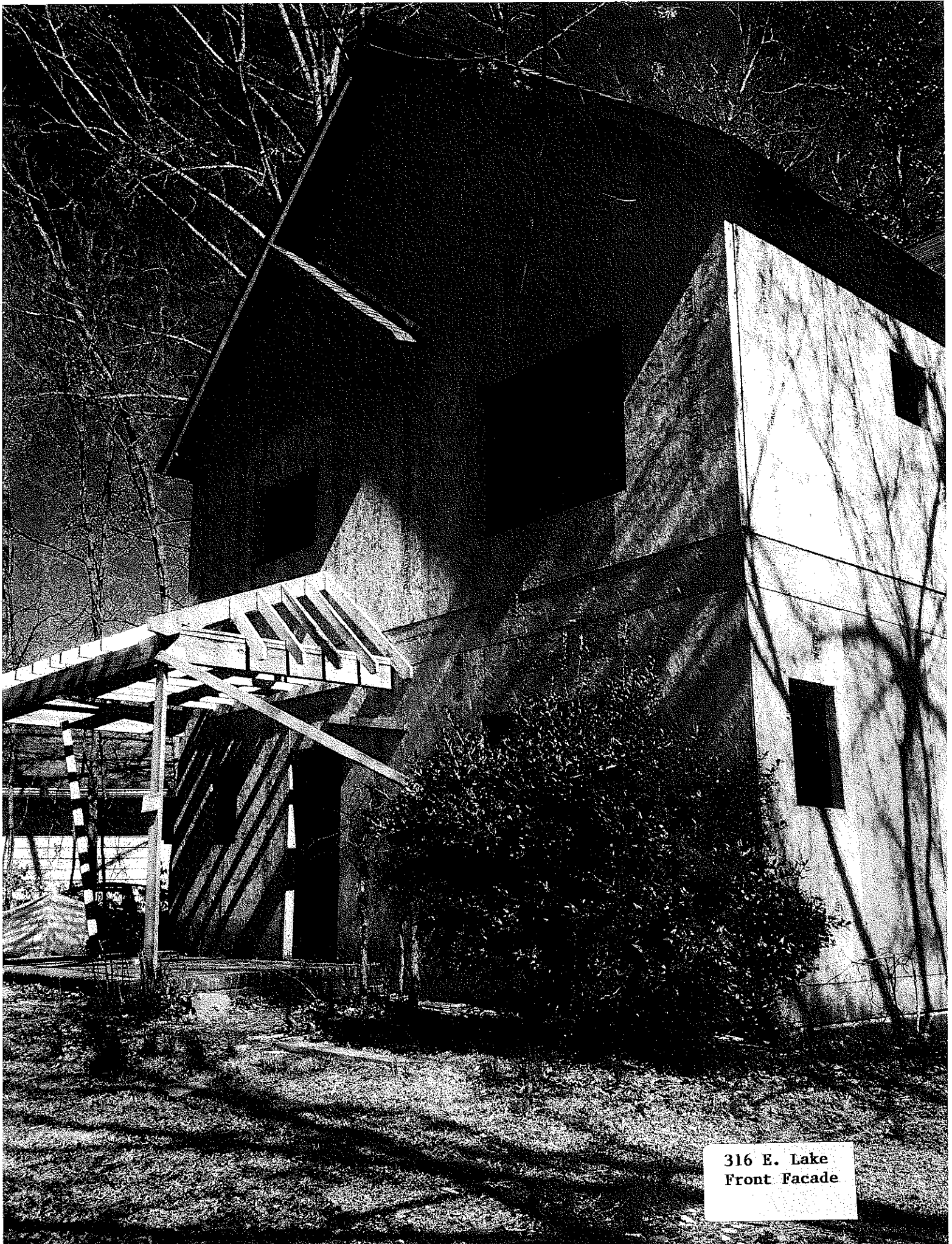
Respectfully submitted this 3rd day of March, 2014.

A handwritten signature in black ink, appearing to read "Linda I. Dunlavy", is written over a horizontal line.

Linda I. Dunlavy
Attorney for Applicant
DUNLAVY LAW GROUP, LLC



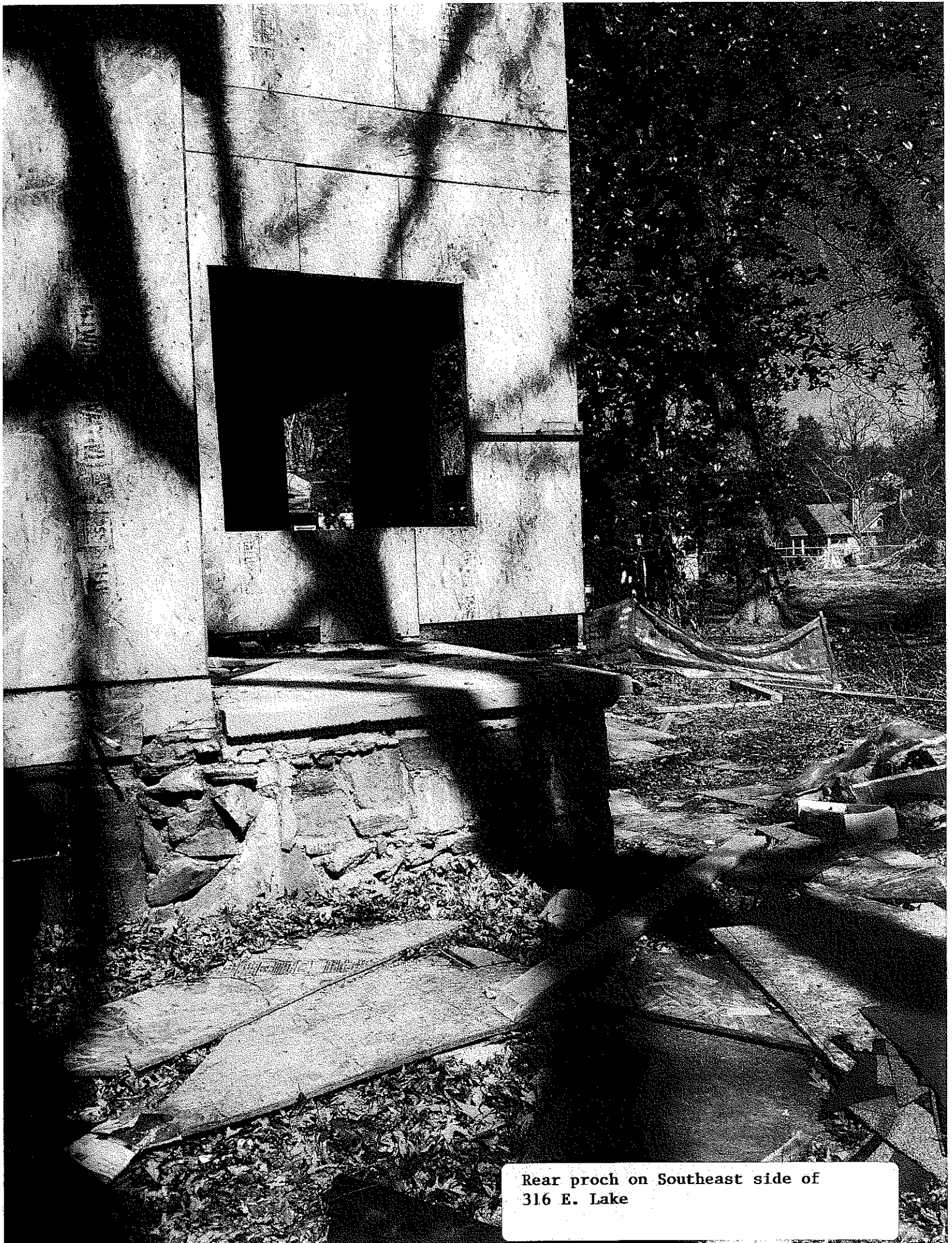
316 E. Lake
South side Elevation
Current condition



316 E. Lake
Front Facade



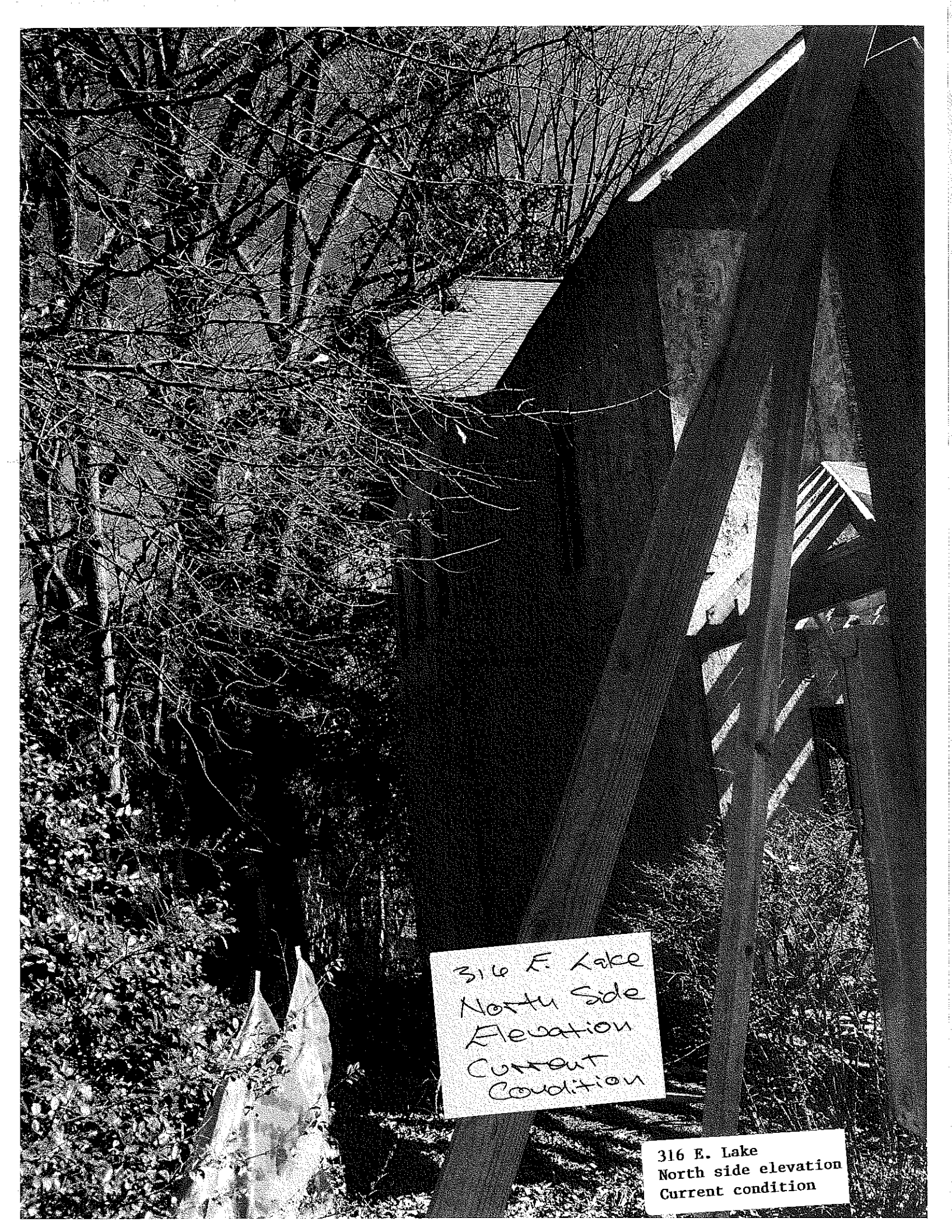
Front facade of previous home at
316 E. Lake
Note: Brick Porch



Rear proch on Southeast side of
316 E. Lake

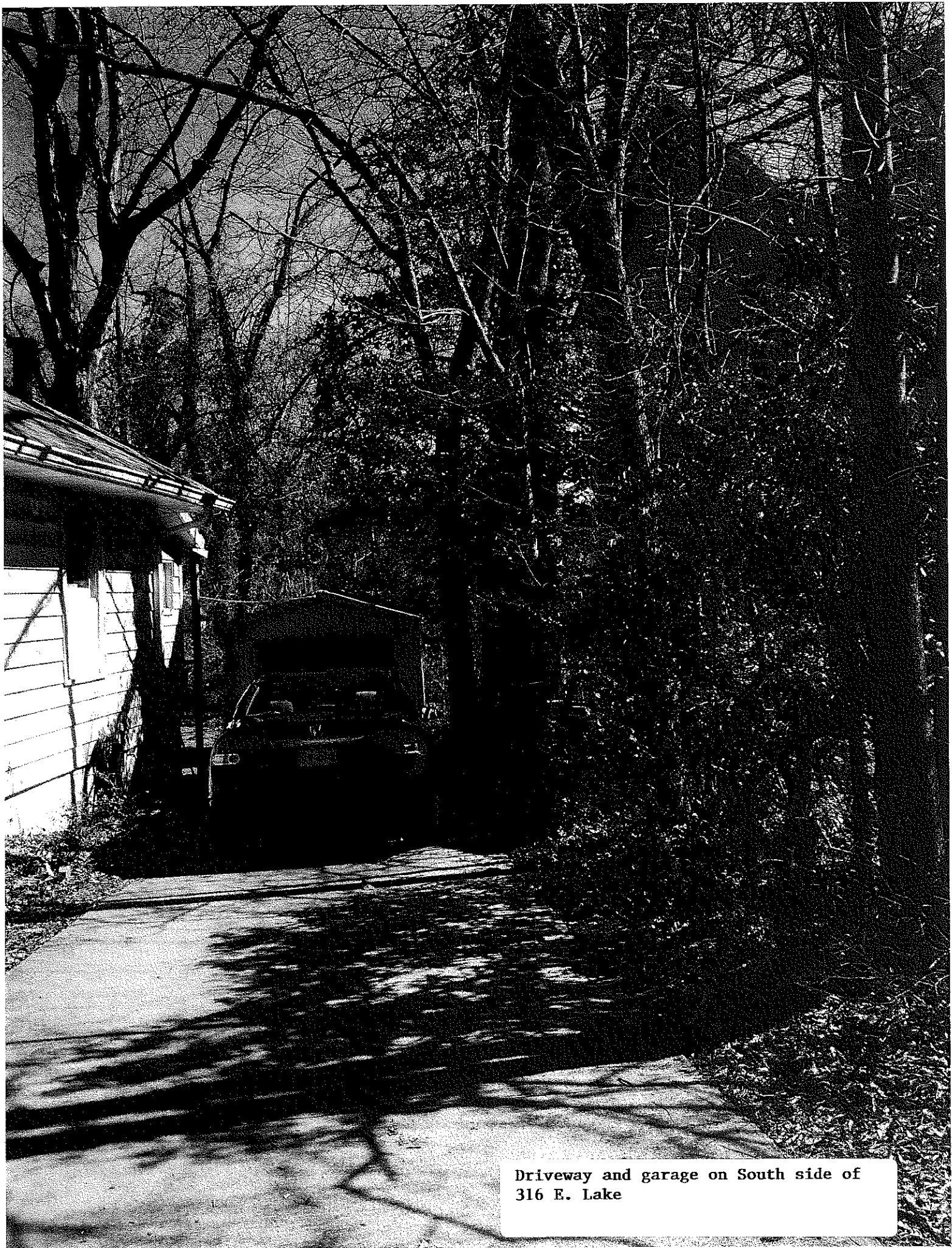


Previous house at
316 E. Lake
Note: Rear proch with steps

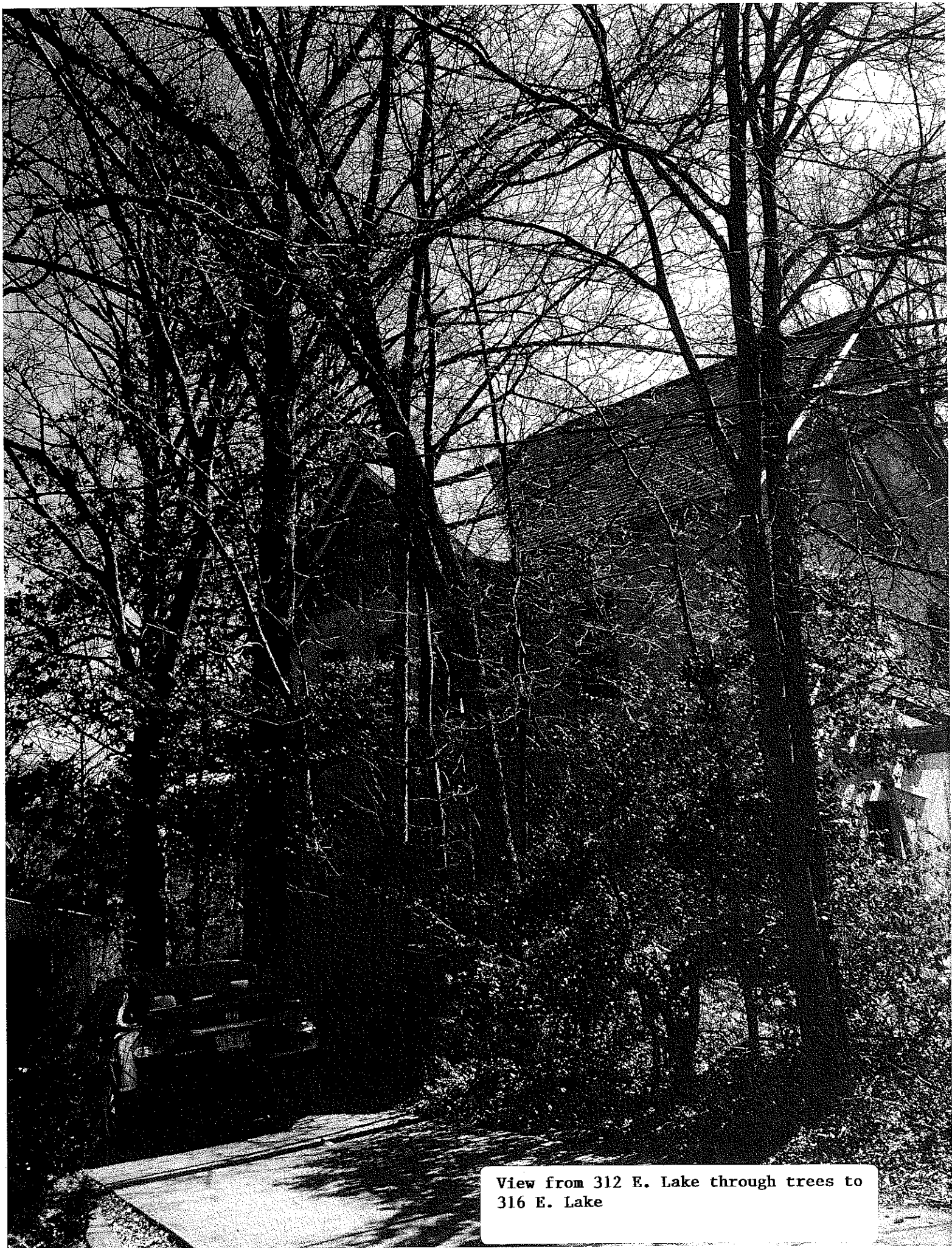
A black and white photograph showing a wooden structure, possibly a fence or a small building, with a sign attached to it. The sign is handwritten and reads: "316 E. Lake", "North Side", "Elevation", "Current", "Condition". The structure is made of dark wood and has a gabled roof. In the background, there are bare trees and a hillside. The foreground shows some foliage and a white plastic bag.

316 E. Lake
North Side
Elevation
Current
Condition

316 E. Lake
North side elevation
Current condition



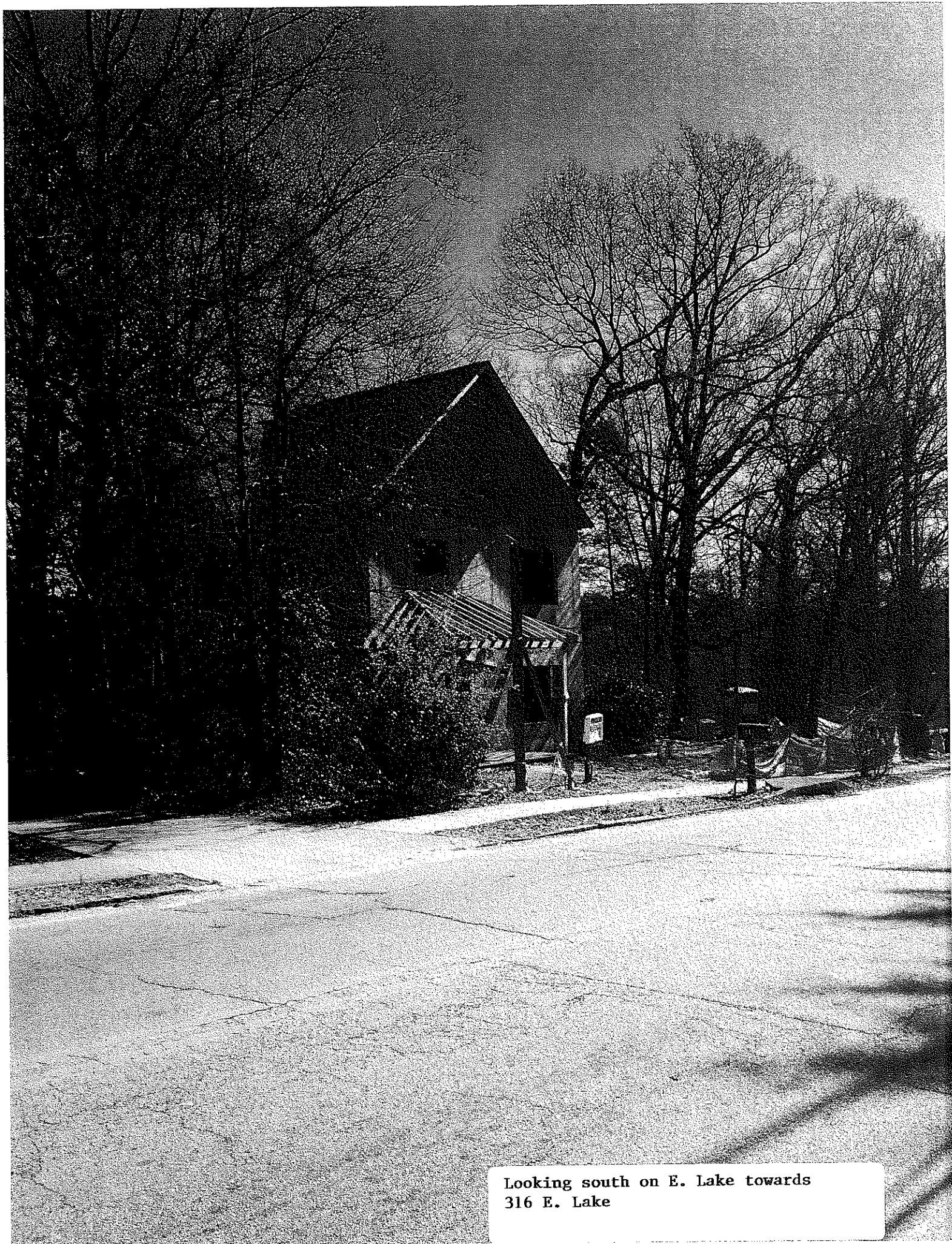
Driveway and garage on South side of
316 E. Lake



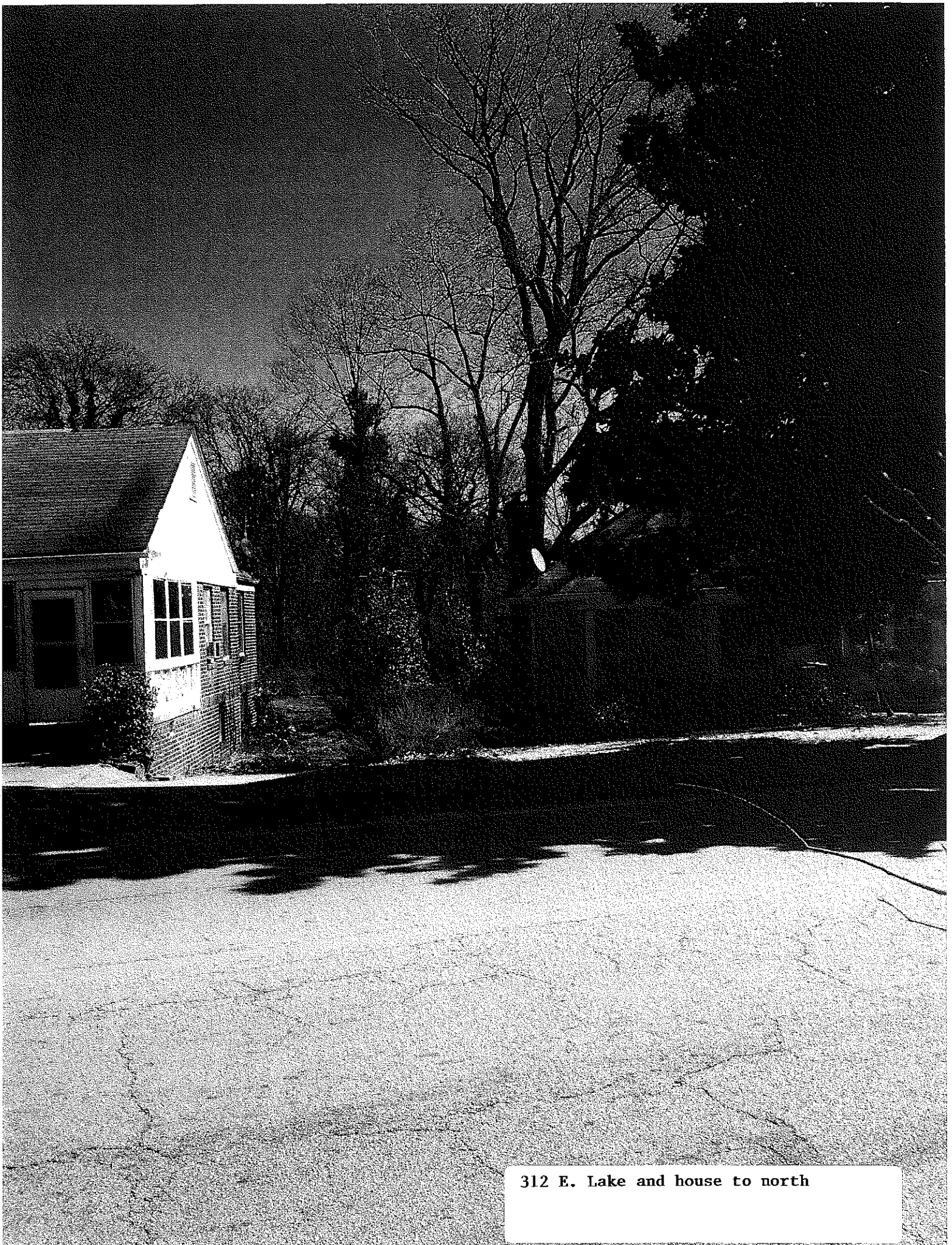
View from 312 E. Lake through trees to
316 E. Lake



Front of 312 E. Lake



Looking south on E. Lake towards
316 E. Lake

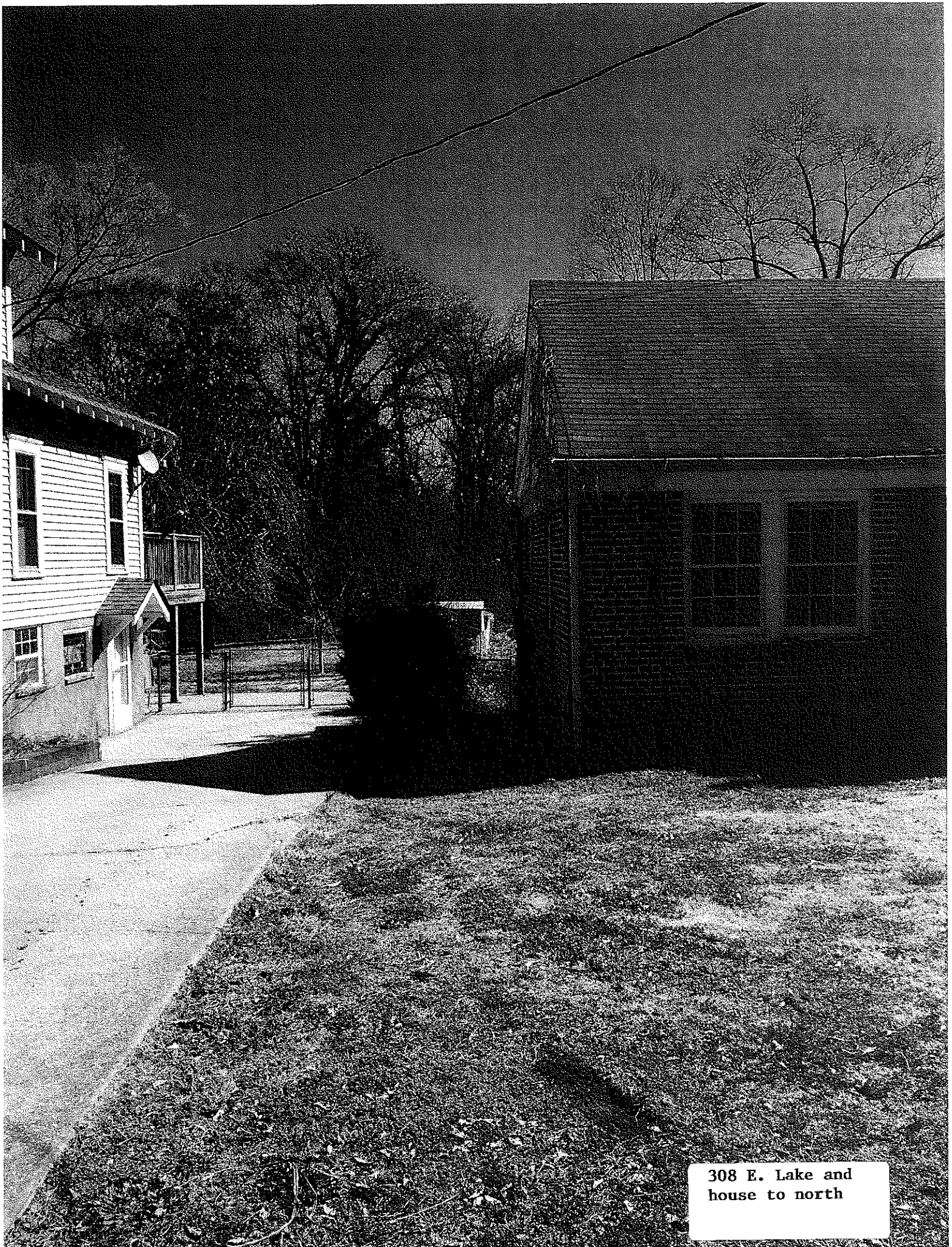


312 E. Lake and house to north





308 E. Lake



308 E. Lake and
house to north



© 2013 Google
© 2014 Google

Google

Google earth

feet 10
meters 3



SAFEbuilt.

Building Department Services

Permit # 13.564City: DelawareDate: 11-5-13

INSPECTION REPORT

BUILDERS NAME: _____ PROJECT NAME: _____

ADDRESS: 316 East Lake Dr. TYPE OF INSPECTION: Shooting

INSPECTOR NAME: _____ TIME IN: _____ TIME OUT: _____

Item	Code Reference	Description of Violation
		Nail Pattern
		6" on Center - Framing
		12" " " Field
		Don't Blow Nails Through
		MATERIAL

Inspection Results:

☐ In Compliance w/ Code☐ Not Ready (Reinspection Fee Required)☒ Violations Found (Reinspection Fee Required)

Notes: _____

OK to Set Meter:

☐ Gas☐ ElectricInspector Signature: M. H. [Signature]Phone #: 678-901-6321

AS B. 1

PROJECT: 51421
DWG BY: DCP
CHKD BY: JAS
DATE: 2/14/14
SCALE: 1"=30'

© 2015 HARRIS Drafting & Design
This drawing may be utilized only for the purpose of constructing or installing the work herein. No other use of this drawing, including without limitation, its reproduction or alteration, by this drawing, without the prior written approval of Harris Drafting & Design is prohibited.

PROJECT NAME

revisions
date description

[illegible]

RELEASED FOR CONSTRUCTION

GENERAL NOTES

[illegible]

EARTH

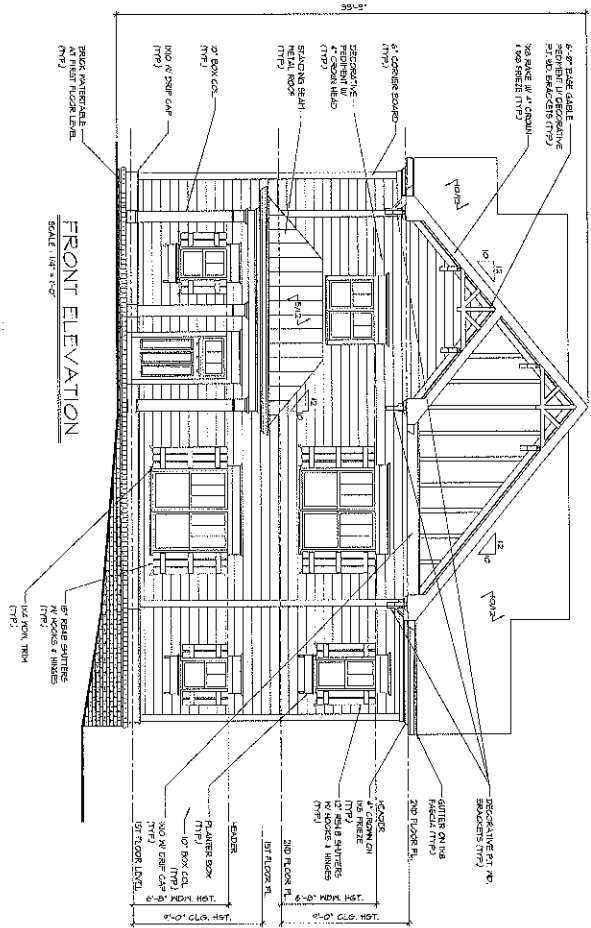
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INDEX OF DRAWINGS

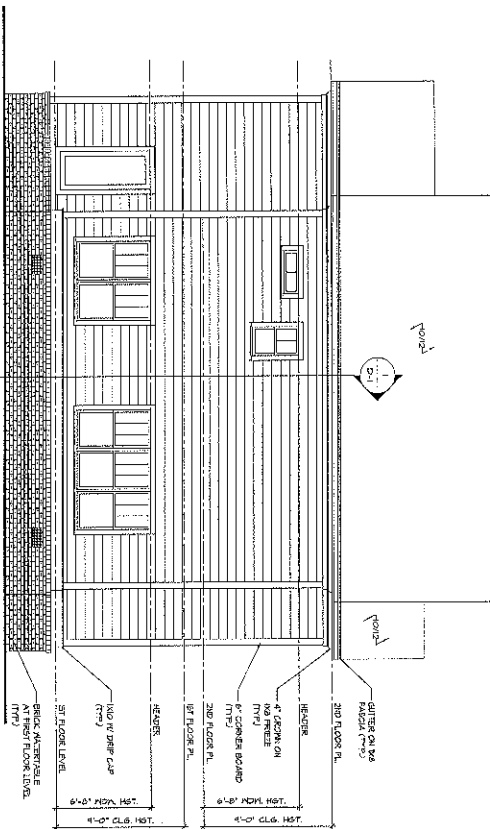
- C-1 COVER SHEET
- A-1 ELEVATIONS
- A-2 ELEVATIONS
- A-3 EXPANDED PLAN & FOUNDATION PLAN
- A-4 FIRST & SECOND FLOOR PLANS
- A-5 FIRST FLOOR & SECOND FLOOR FINISHING PLANS
- A-6 SECOND FLOOR CEILING & ROOF FINISHING PLANS
- A-7 ROOF PLAN & DETAILS

APPLICABLE CODES

INTERNATIONAL, MULTINATIONAL, 2000 ENTRY, WITH DOMESTIC AND FOREIGN
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FRONT ELEVATION
SCALE 1/4\"/>



REAR ELEVATION
SCALE 1/4\"/>



HARELS
DESIGN & DESIGN
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18 x 11

PROJECT NAME

HOME RENOVATION
316 E. Lake Drive
Decatur, Georgia

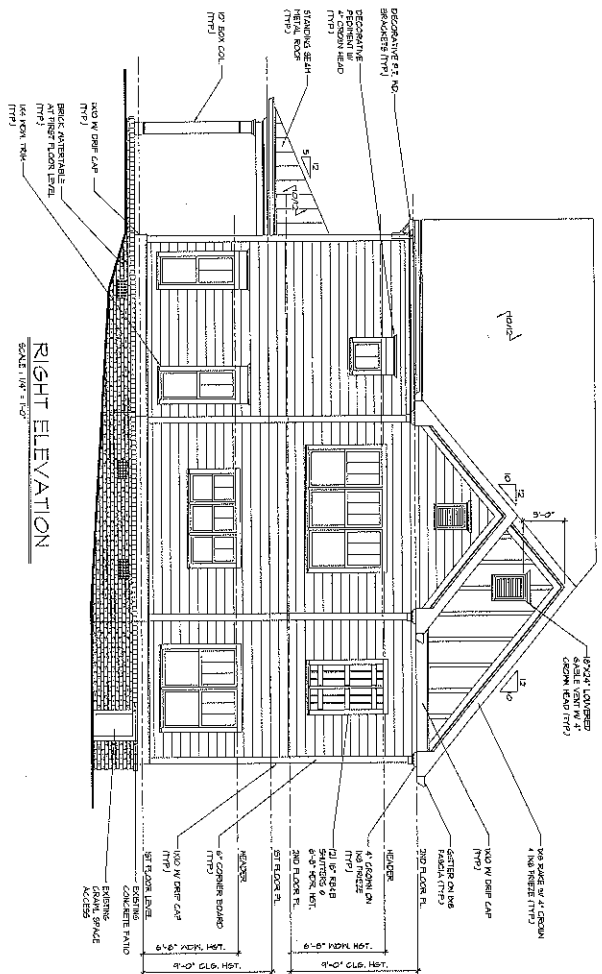
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221 Peachtree Road S/Ws D 462
Atlanta, Ga. 30325

REVISION	DATE	BY	DESCRIPTION
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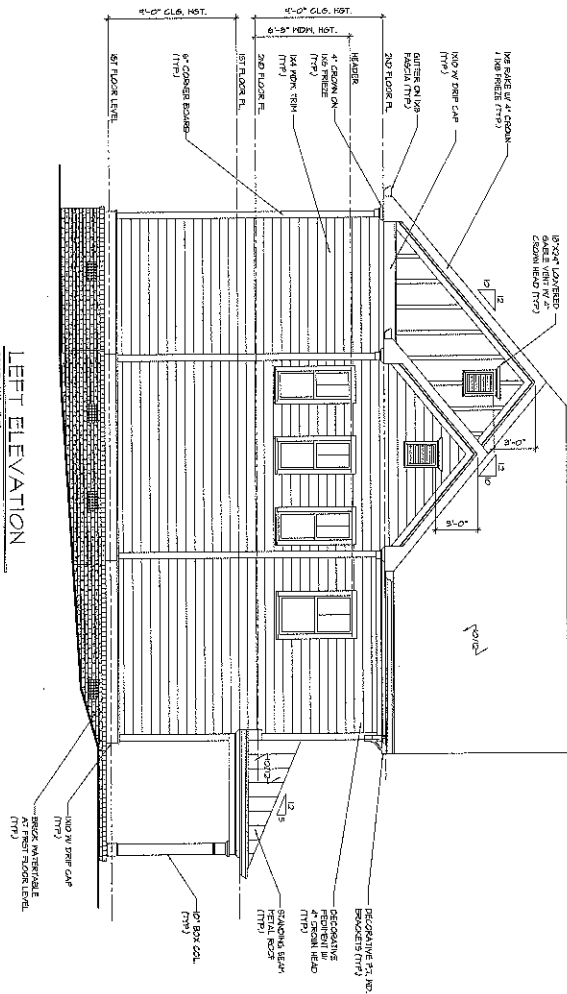
Sheet Title

ELEVATIONS

A-1



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



HARS
DRAWING & DESIGN
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Phone: 404.484.1111
hars@harsinc.com

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SCALE

PROJECT NAME

HOME RENOVATION
AT
316 E Lake Drive
Decatur, Georgia
PROVENCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30329

DATE: 08/08/03

DESIGNER: J. HARS

DRAWN BY: J. HARS

CHECKED BY: J. HARS

DATE: 08/08/03

PROJECT: 03-001

CLIENT: J. HARS

LOCATION: 316 E Lake Drive

DESCRIPTION: HOME RENOVATION

DATE: 08/08/03

DESIGNER: J. HARS

DRAWN BY: J. HARS

CHECKED BY: J. HARS

DATE: 08/08/03

PROJECT: 03-001

CLIENT: J. HARS

LOCATION: 316 E Lake Drive

DESCRIPTION: HOME RENOVATION

DATE: 08/08/03

DESIGNER: J. HARS

DRAWN BY: J. HARS

CHECKED BY: J. HARS

DATE: 08/08/03

PROJECT: 03-001

CLIENT: J. HARS

LOCATION: 316 E Lake Drive

DESCRIPTION: HOME RENOVATION

DATE: 08/08/03

DESIGNER: J. HARS

DRAWN BY: J. HARS

CHECKED BY: J. HARS

DATE: 08/08/03

PROJECT: 03-001

CLIENT: J. HARS

LOCATION: 316 E Lake Drive

A-2

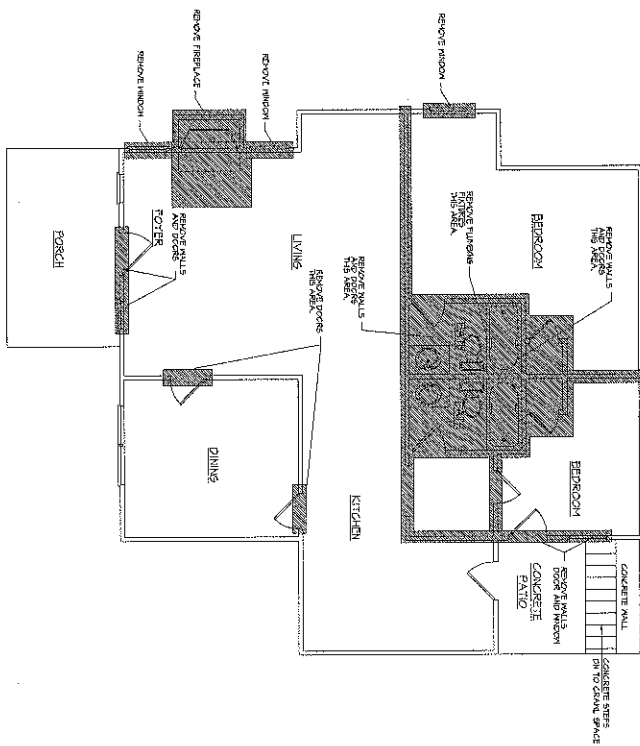
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LEIGH

AREAS TO BE REMOVED (SEE NOTES ABOVE)

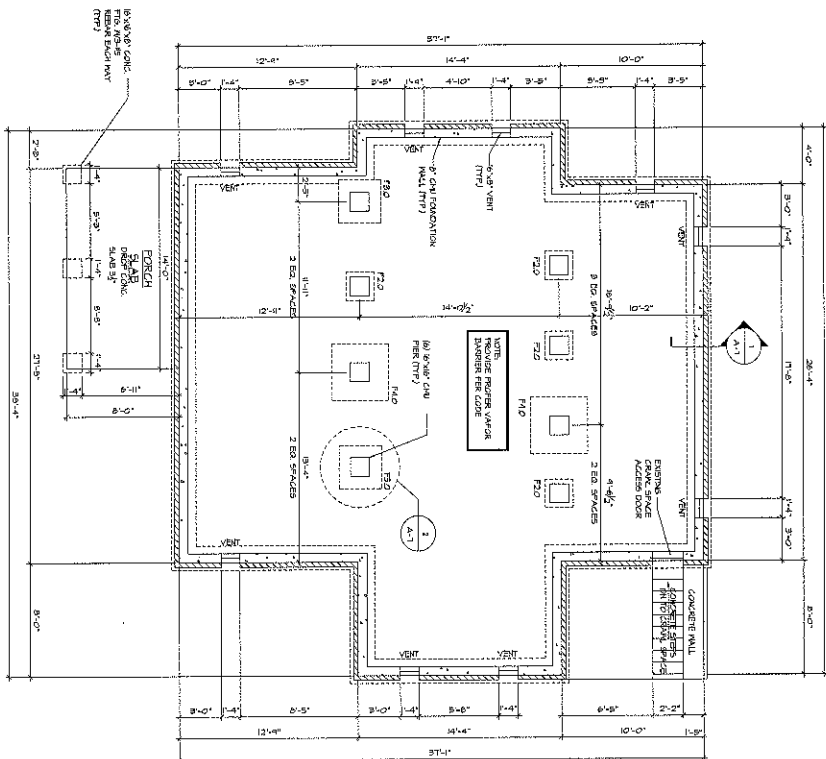
REMARKS:

- REMOVE AND REPLACE ALL INTERNAL PANELS AND CEILING.
- REMOVE AND REPLACE ALL INTERIOR AND EXTERIOR DOORS AND TRIM.
- REMOVE AND REPLACE ALL WINDOW SILL, SLEDGE INSULATED WINDOWS.
- REMOVE AND REPLACE ALL FLOOR COVERINGS.
- REMOVE AND REPLACE ALL BATHROOMS.
- REMOVE AND REPLACE TOILETS, SINKS AND TUBS AS REQUIRED.
- REMOVE AND REPLACE LIGHT FIXTURES, RECEPTACLES AND SWITCHES.
- REMOVE AND REPLACE ROOF.



2009 年 4 月 27 日

FOOTING SCHEDULE	
MARK	REINFORCEMENT
M2.0	2-Ø 12' EACH WAY BOTTOM
M3.0	3-Ø 12' EACH WAY BOTTOM
F4.0	4-Ø 12' EACH WAY BOTTOM



HARRIS
DRINKING & DRIVING
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5 EAL

4
5
6
7

PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

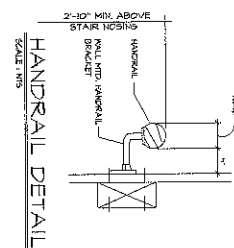
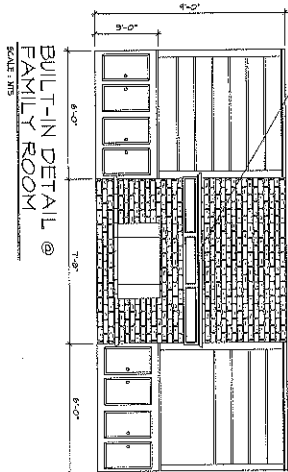
EX./DEMO PLAN &
FOUNDATION PLAN

sheet number

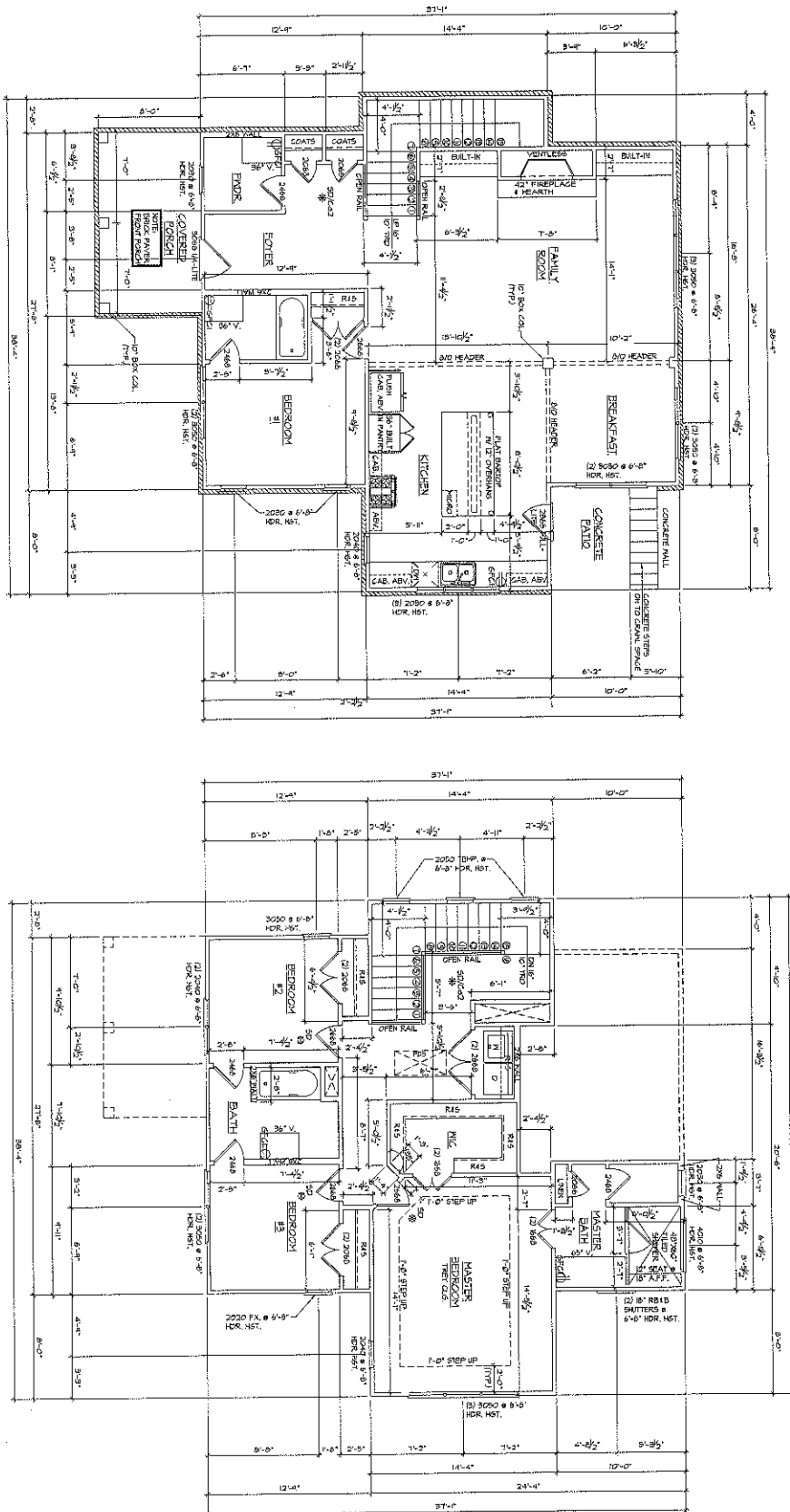
FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

HEATED SQUARE FOOTAGE	102 SQ. FT.
FIRST FLOOR	102 SQ. FT.
SECOND FLOOR	102 SQ. FT.
UNHEATED SQUARE FOOTAGE	184 SQ. FT.
SECOND FLOOR	184 SQ. FT.
TOTAL	286 SQ. FT.

50/C-2	SHOKE DETECTOR
50	SHOKE DETECTOR
100/1	SMOKE DETECTOR



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia

PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

PROJECT NAME

HOME RENOVATION

DATE

08/01/00

BY

08/01/00

CHKD

08/01/00

DATE

08/01/00

BY

08/01/00

CHKD

08/01/00

DATE

08/01/00

BY

08/01/00

CHKD

08/01/00

PLAN

FIRST & SECOND FLOOR

SCALE

1/8" = 1'-0"

REVISIONS

1. 08/01/00

2. 08/01/00

3. 08/01/00

4. 08/01/00

5. 08/01/00

6. 08/01/00

7. 08/01/00

8. 08/01/00

9. 08/01/00

10. 08/01/00

CLIENT

HOME RENOVATION

DATE

08/01/00

BY

08/01/00

PLAN

FIRST & SECOND FLOOR

SCALE

1/8" = 1'-0"

REVISIONS

1. 08/01/00

2. 08/01/00

3. 08/01/00

4. 08/01/00

5. 08/01/00

6. 08/01/00

7. 08/01/00

8. 08/01/00

9. 08/01/00

10. 08/01/00

CLIENT

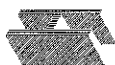
HOME RENOVATION

DATE

08/01/00

BY

08/01/00



HARRIS
CONSTRUCTION
4502 SHILOH ROAD
LAWRENCEVILLE, GEORGIA 30044
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9145

PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
221 Peachtree Road Suite D 462
Atlanta, Ge. 30309

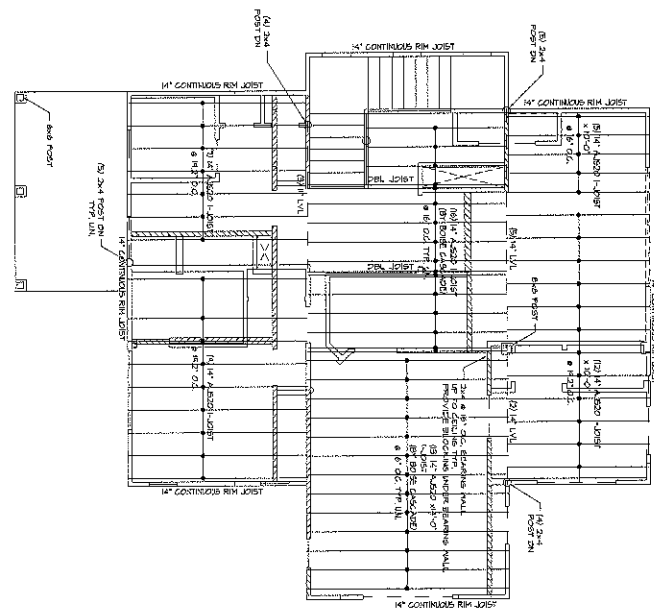
revision	date	description

DATE	DATE
ISSUED	12/10/2013
REVISED	12/10/2013
DATE	12/10/2013
BY	
PROJECT FILE	

Drawn for construction
Sheet title
FIRST FLOOR & SECOND FLOOR FRAMING PLANS

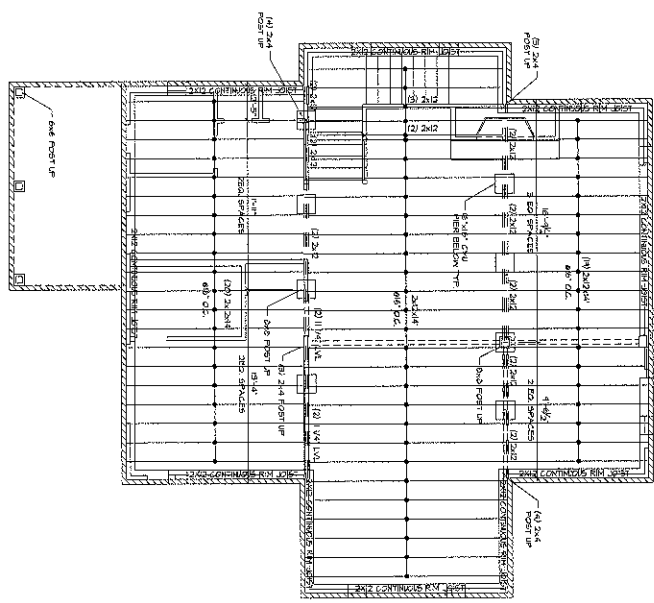
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A-5

RELEASED FOR CONSTRUCTION



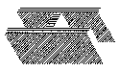
NOTE:
- ALL BEAMS BY CHAIRS
- ALL BEAMS JOISTS ARE RANCHED UP
TO BE ERECTED EVEN WHEN
TO BE ERECTED EVEN WHEN
BY OTHERS

SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTE:
- ALL BEAMS BY CHAIRS
- ALL BEAMS JOISTS ARE RANCHED UP
TO BE ERECTED EVEN WHEN
TO BE ERECTED EVEN WHEN
BY OTHERS

FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



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PROJECT NAME

HOME RENOVATION
AT
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Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

DATE: 08/08/2023

DESIGN	JAH
CHECKED	JAH
DATE	08/08/23
PROJECT	316 E. Lake Drive
ISSUED FOR	CONSTRUCTION

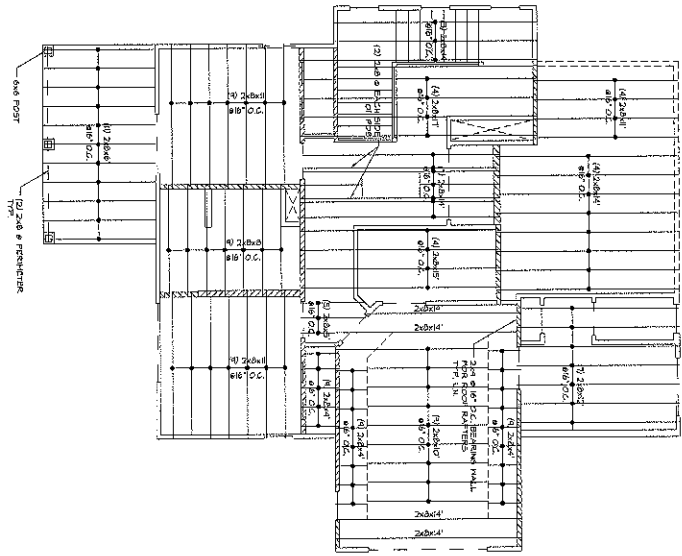
SECOND FLOOR CEILING
& ROOF FRAMING PLANS

A=6

SECOND FLOOR CEILING FRAMING PLAN

SCALE: 1/8" = 1'-0"

NOTE:
• ALL BEAMS BY OTHERS
TO BE REMOVED AND REFRAMED
TO MATCH EXISTING FRAMING
AND FINISHES.

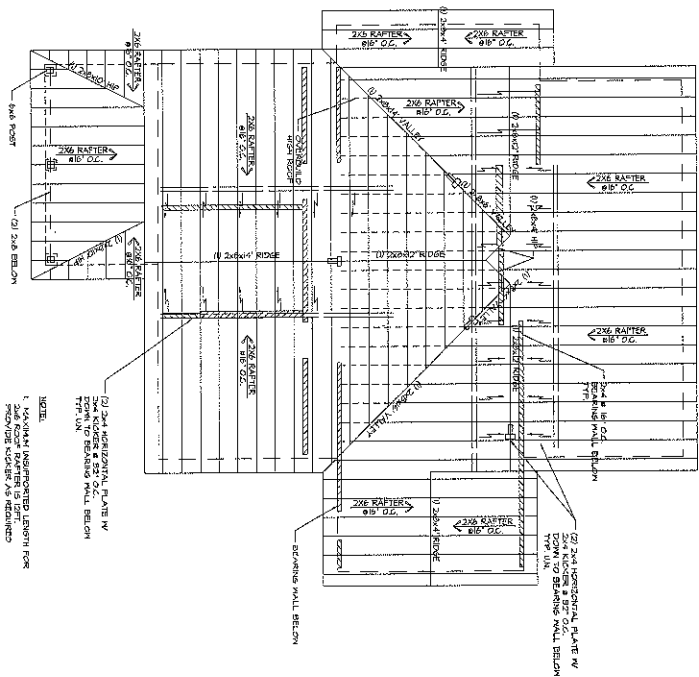


ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

NOTE:
• ALL BEAMS BY OTHERS
TO BE REMOVED AND REFRAMED
TO MATCH EXISTING FRAMING
AND FINISHES.

NOTE: ALL RAFTERS ARE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.



PROPOSED MARCH 2014 ZBA



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PROJECT NOTES

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

REVISIONS

NO.	DATE	DESCRIPTION
1	03/11/14	ISSUED FOR PERMIT
2	03/11/14	ISSUED FOR PERMIT
3	03/11/14	ISSUED FOR PERMIT
4	03/11/14	ISSUED FOR PERMIT
5	03/11/14	ISSUED FOR PERMIT
6	03/11/14	ISSUED FOR PERMIT
7	03/11/14	ISSUED FOR PERMIT
8	03/11/14	ISSUED FOR PERMIT
9	03/11/14	ISSUED FOR PERMIT
10	03/11/14	ISSUED FOR PERMIT

COVER SHEET

Sheet Number
C-1

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC) AS ADOPTED BY THE CITY OF ATLANTA.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ATLANTA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITESPECIFIC INFORMATION.

MATERIALS

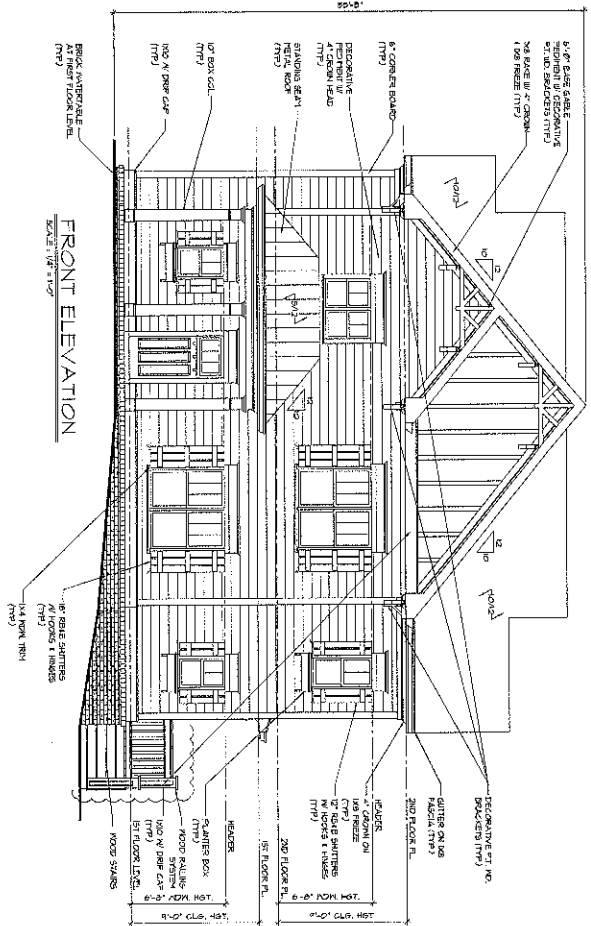
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REINFORCING BARS	ASTM A618
STEEL DECK	ASTM A992
WOOD FRAMING	ASTM D1907
ROOFING	ASTM D1978
INSULATION	ASTM C1208
GLASS	ASTM C1112
DOORS	ASTM D1530
WINDOWS	ASTM D1530
CEILING	ASTM C1191
FLOORING	ASTM D1907
PAINTS	ASTM D1530
FINISHES	ASTM D1530

INDEX OF DRAWINGS

C-1	COVER SHEET
A-1	FOUNDATION PLAN
A-2	FOUNDATION PLAN
A-3	FOUNDATION PLAN
A-4	FOUNDATION PLAN
A-5	FOUNDATION PLAN
A-6	FOUNDATION PLAN
A-7	FOUNDATION PLAN

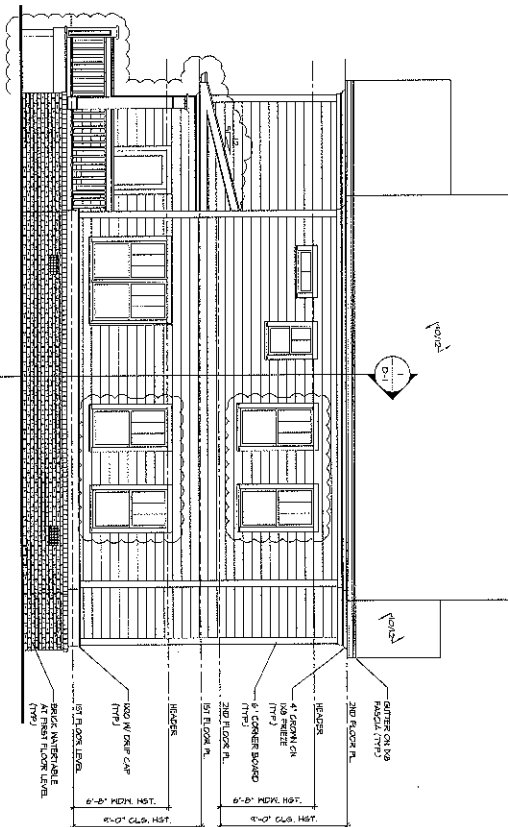
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- INTERNATIONAL RESIDENTIAL CODE (IRC), 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS
- ATLANTA CITY CODE, 2006 EDITION, WITH ATLANTA AMENDMENTS



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



PROVENANCE
CONSTRUCTION & INTERIOR
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Lawrenceville, Georgia 30044
770.962.1234
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PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia

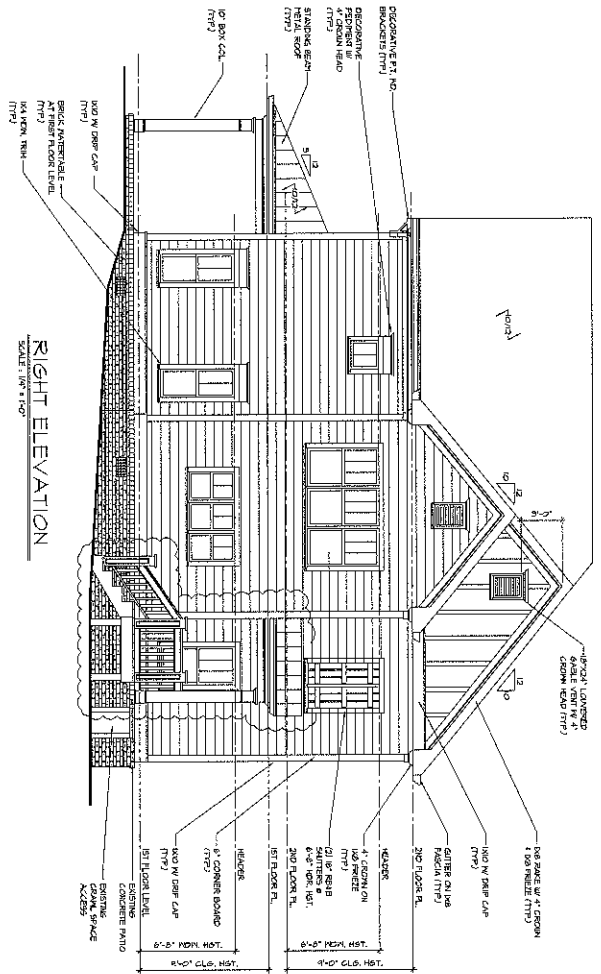
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

DATE: 10/1/13
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
PROJECT NO.: 130044

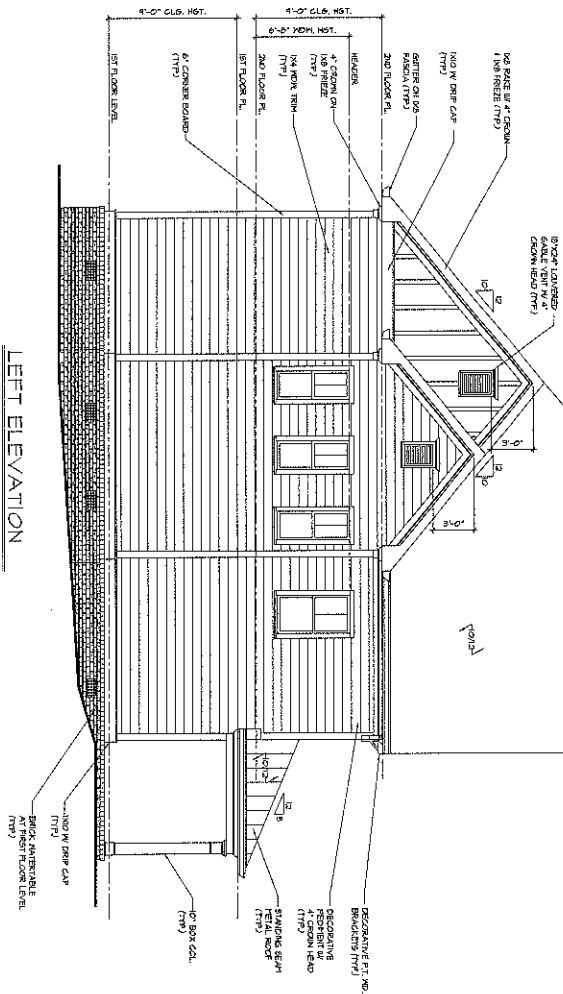
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DRAWN BY: J. H. HARRIS
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PROJECT NO.: 130044

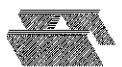
A-1



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



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CONSTRUCTION SERVICES
430 Senior Drive
Lawrenceville, Georgia 30044
Home: 770-962-1811

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5/21

PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

REVISIONS

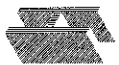
DATE: 05/11/05
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
DATE: 05/11/05
PROJECT: 316 E. LAKE DRIVE

NO.	DATE	DESCRIPTION
1	05/11/05	ISSUED FOR PERMIT
2	05/11/05	ISSUED FOR CONSTRUCTION

ELEVATIONS

Scale: 1/8" = 1'-0"

A-2



HARRIS
DRAFTING & DESIGN
490 Senior Drive
Lawrenceville, Georgia 30044
770.962.1111
harris@harrisdrafting.com

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PROJECT NAME

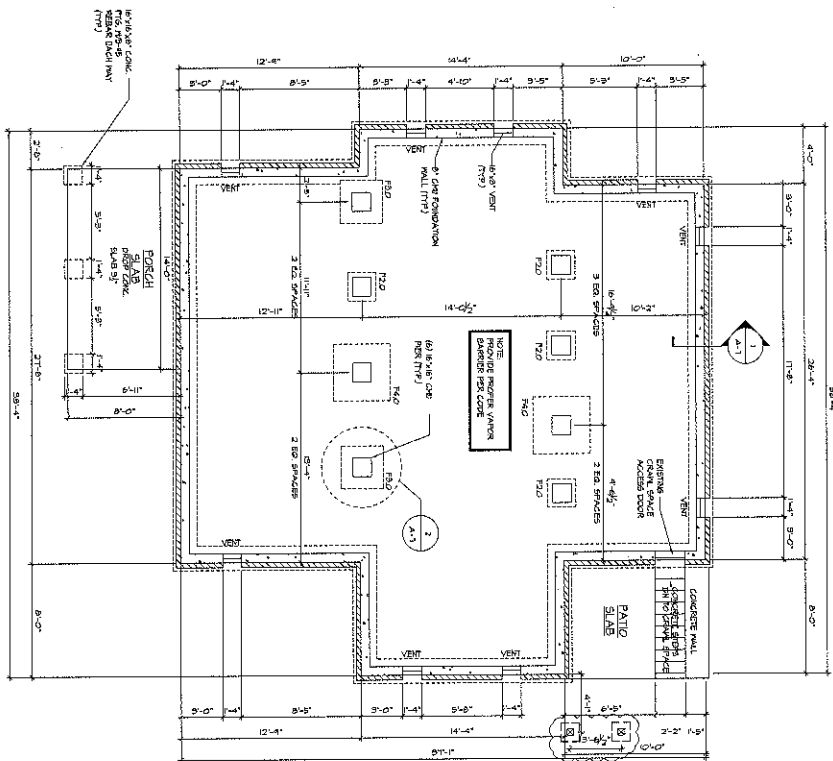
HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

REVISIONS
NO. DESCRIPTION
1. REVISED DRAWING ACCORDING TO COMMENTS
2. REVISED DRAWING ACCORDING TO COMMENTS
3. REVISED DRAWING ACCORDING TO COMMENTS

DATE	BY	REVISION
08/01/13	AS/JOH	ISSUED FOR PERMIT
08/01/13	AS/JOH	ISSUED FOR PERMIT
08/01/13	AS/JOH	ISSUED FOR PERMIT

Sheet title
EX - DEMO PLAN 4
FOUNDATION PLAN

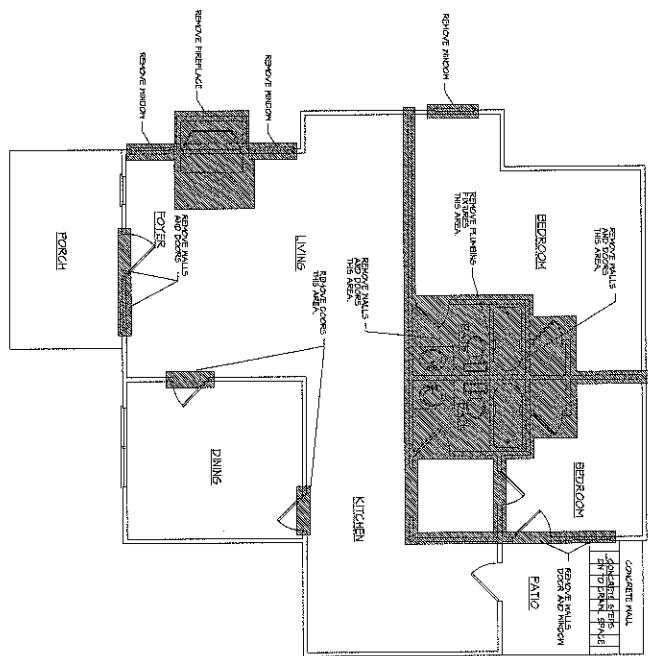
Drawn by
A-3

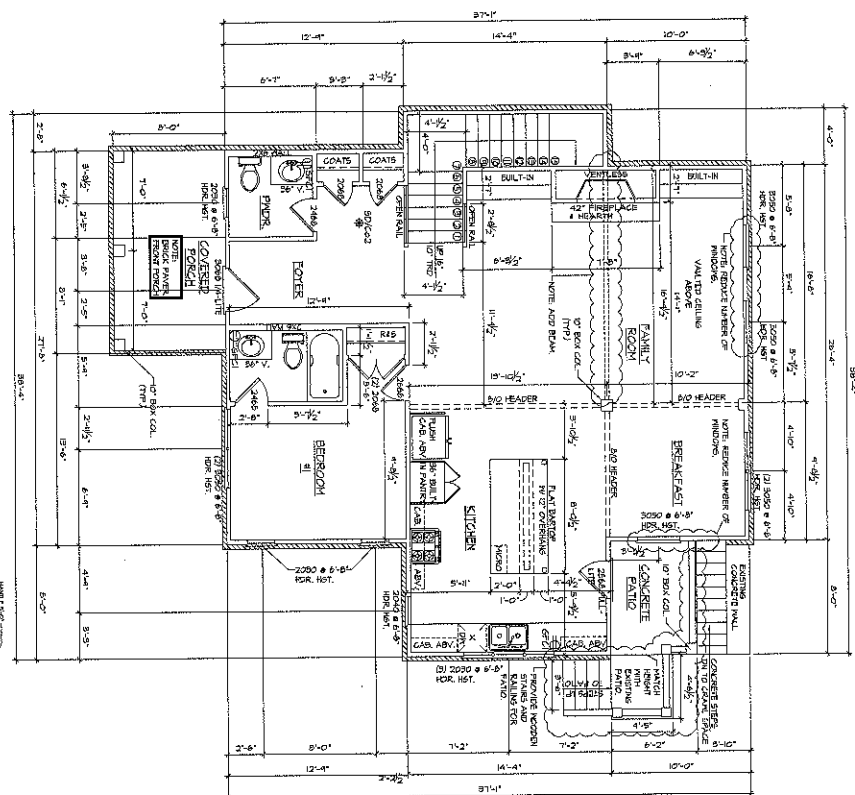


EX- DEMO FLOOR PLAN
SCALE: 1/8" = 1'-0"

Legend:
AREAS TO BE REMOVED (SEE NOTES ABOVE)

Demolition:
- REMOVE AND REPLACE ALL EXISTING WALLS AND CEILING.
- REMOVE AND REPLACE INTERIOR AND EXTERIOR DOORS AND FRAMES.
- REMOVE AND REPLACE ALL FLOOR COVERINGS.
- REMOVE AND REPLACE ALL BASEBOARDS.
- REMOVE AND REPLACE ALL LIGHT FIXTURES, RECEPTACLES AND SWITCHES.
- REMOVE AND REPLACE ROOM.



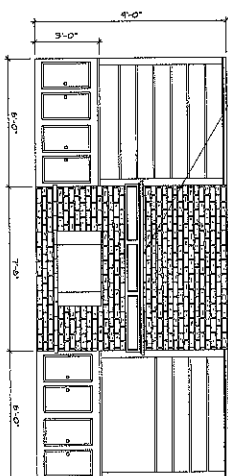


FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

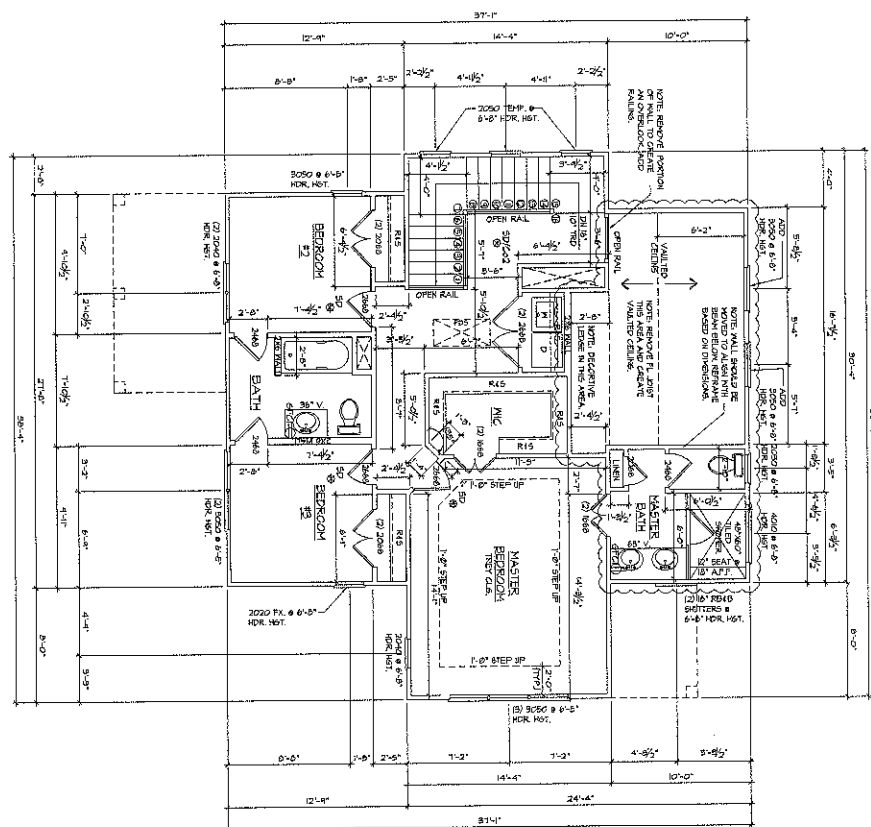
HEATED SQUARE FOOTAGE	
FIRST FLOOR	1102 SQ. FT.
SECOND FLOOR	835 SQ. FT.
TOTAL	1937 SQ. FT.

SOLCOZ ®	SMOKE DETECTOR & CARBON MONOXIDE
SD ®	SMOKE DETECTOR
IFCI ®	GFCI OUTLET



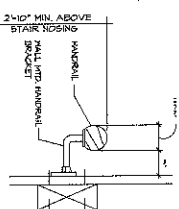
BUILT-IN DETAIL @
FAMILY ROOM

SCALE: 1000



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



HANDRAIL DETAIL

1000

430 Senior Drive
Lawrenceville, Georgia 30044
(678) 467-4154
port@l42@bellsouth.net

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PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia

PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, Ga. 30309

id	description
1	REVISID UNKNOWN ADDED
2	PATIO STAIRS AND RAILINGS

1. <u>DATE OF ORDER</u> 11/11/88 2. <u>DATE OF DELIVERY</u> 11/11/88 3. <u>DATE OF RECEIPT</u> 11/11/88 4. <u>DATE OF PAYMENT</u> 11/11/88 5. <u>DATE OF CANCELLATION</u> 11/11/88 6. <u>DATE OF RETURN</u> 11/11/88 7. <u>DATE OF REFUND</u> 11/11/88 8. <u>DATE OF CREDIT</u> 11/11/88 9. <u>DATE OF DEBIT</u> 11/11/88 10. <u>DATE OF BALANCE</u> 11/11/88 11. <u>DATE OF INTEREST</u> 11/11/88 12. <u>DATE OF TAX</u> 11/11/88 13. <u>DATE OF FEE</u> 11/11/88 14. <u>DATE OF CHARGE</u> 11/11/88 15. <u>DATE OF DISCOUNT</u> 11/11/88 16. <u>DATE OF SURCHARGE</u> 11/11/88 17. <u>DATE OF PENALTY</u> 11/11/88 18. <u>DATE OF REBATE</u> 11/11/88 19. <u>DATE OF COMMISSION</u> 11/11/88 20. <u>DATE OF BROKERAGE</u> 11/11/88 21. <u>DATE OF INSURANCE</u> 11/11/88 22. <u>DATE OF FREIGHT</u> 11/11/88 23. <u>DATE OF POSTAGE</u> 11/11/88 24. <u>DATE OF TELEPHONE</u> 11/11/88 25. <u>DATE OF CABLE</u> 11/11/88 26. <u>DATE OF MAIL</u> 11/11/88 27. <u>DATE OF EXPRESS</u> 11/11/88 28. <u>DATE OF REGISTERED MAIL</u> 11/11/88 29. <u>DATE OF CERTIFIED MAIL</u> 11/11/88 30. <u>DATE OF RETURNED MAIL</u> 11/11/88 31. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 32. <u>DATE OF DEAD LETTER</u> 11/11/88 33. <u>DATE OF REFUSED MAIL</u> 11/11/88 34. <u>DATE OF UNPAID MAIL</u> 11/11/88 35. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 36. <u>DATE OF RETURNED MAIL</u> 11/11/88 37. <u>DATE OF UNPAID MAIL</u> 11/11/88 38. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 39. <u>DATE OF RETURNED MAIL</u> 11/11/88 40. <u>DATE OF UNPAID MAIL</u> 11/11/88 41. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 42. <u>DATE OF RETURNED MAIL</u> 11/11/88 43. <u>DATE OF UNPAID MAIL</u> 11/11/88 44. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 45. <u>DATE OF RETURNED MAIL</u> 11/11/88 46. <u>DATE OF UNPAID MAIL</u> 11/11/88 47. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 48. <u>DATE OF RETURNED MAIL</u> 11/11/88 49. <u>DATE OF UNPAID MAIL</u> 11/11/88 50. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 51. <u>DATE OF RETURNED MAIL</u> 11/11/88 52. <u>DATE OF 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MAIL</u> 11/11/88 123. <u>DATE OF RETURNED MAIL</u> 11/11/88 124. <u>DATE OF UNPAID MAIL</u> 11/11/88 125. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 126. <u>DATE OF RETURNED MAIL</u> 11/11/88 127. <u>DATE OF UNPAID MAIL</u> 11/11/88 128. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 129. <u>DATE OF RETURNED MAIL</u> 11/11/88 130. <u>DATE OF UNPAID MAIL</u> 11/11/88 131. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 132. <u>DATE OF RETURNED MAIL</u> 11/11/88 133. <u>DATE OF UNPAID MAIL</u> 11/11/88 134. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 135. <u>DATE OF RETURNED MAIL</u> 11/11/88 136. <u>DATE OF UNPAID MAIL</u> 11/11/88 137. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 138. <u>DATE OF RETURNED MAIL</u> 11/11/88 139. <u>DATE OF UNPAID MAIL</u> 11/11/88 140. <u>DATE OF UNDELIVERED MAIL</u> 11/11/88 141. <u>DATE OF RETURNED MAIL</u> 11/11/88 142. <u>DATE OF UNPAID MAIL</</u>	
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A diagram showing a triangle with a double line on its left side. Below it is an equals sign, followed by another triangle with a single line on its left side.



HARRIS
DESIGN
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SEAL

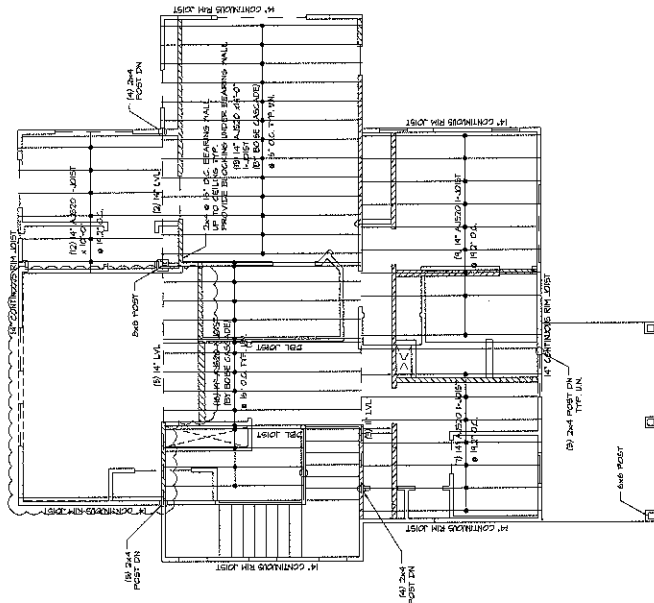
PROJECT NAME

HOME RENOVATION
316 E Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, GA 30309

REVISIONS
DATE DESCRIPTION
2/1/04 CORRECTED FOR
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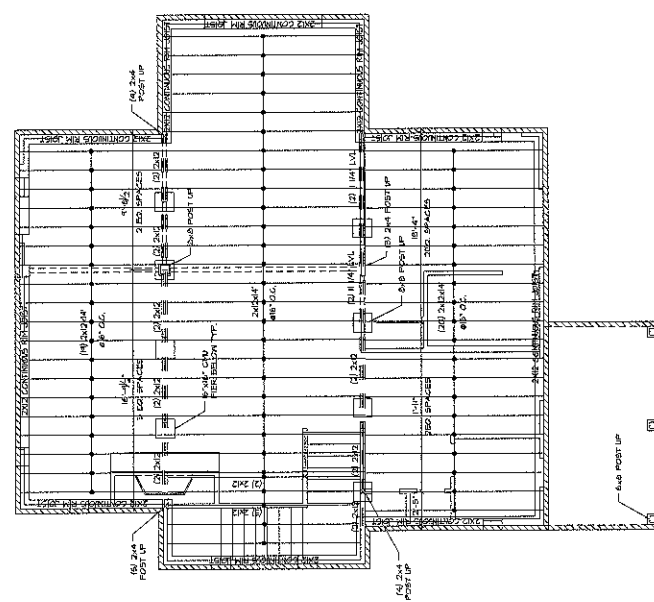
DATE: 2/1/04
DRAWN BY: JH
CHECKED BY: JH
SCALE: 1/4" = 1'-0"
SHEET NO.: 1
SHEET TOTAL: 1
PROJECT NO.: 030044
PROJECT NAME: HOME RENOVATION
PROJECT ADDRESS: 316 E Lake Drive
PROJECT CITY: Decatur, Georgia
PROJECT STATE: GA
PROJECT ZIP: 30030
PROJECT PHONE: (678) 461-1494
PROJECT FAX: (678) 461-1494
PROJECT EMAIL: harrisdesigns@earthlink.net
PROJECT WEBSITE: www.harrisdesigns.com
PROJECT URL: www.harrisdesigns.com

Sheet Title
FIRST FLOOR 1 SECOND
FLOOR FRAMING PLANS
Sheet Number
A-5



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE:
• LVL BEAMS BY OTHERS
• ALL JOISTS ARE TO BE SPACED UP
• TO NEAREST EIGHT INCHES
• EXACT LENGTHS OF FRAMING DETERMINED
BY OTHERS



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE:
• LVL BEAMS BY OTHERS
• ALL JOISTS ARE TO BE SPACED UP
• TO NEAREST EIGHT INCHES
• EXACT LENGTHS OF FRAMING DETERMINED
BY OTHERS

DRAWINGS & DESIGN
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Lawrenceville, Georgia 30044
(678) 467-4164
horr8t42@bellsouth.net

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1997

PROJECT NAME

HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2221 Peachtree Road Suite D 462
Atlanta, GA 30309

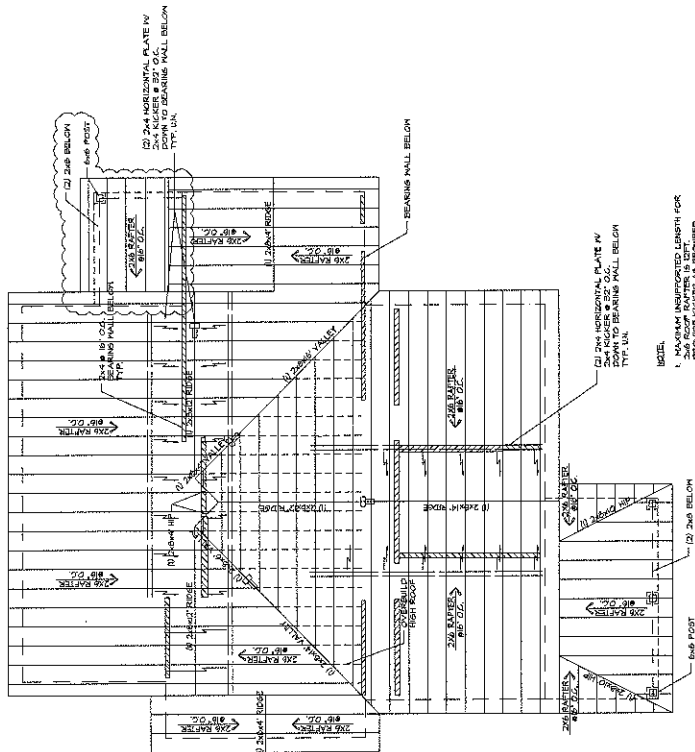
revisions	date	description
2/1/74		REVISED WINDOWS, ADDED PATIO STAIRS AND RAILINGS, & CREATED VAULTED CEILING IN FAMILY ROOM.

drawn _____
 created _____
 log no. _____
 scale _____
 date _____
 place _____

igned for
conversion

SECOND FLOOR CEILING
AND ROOF FRAMING PLANS

Good surface



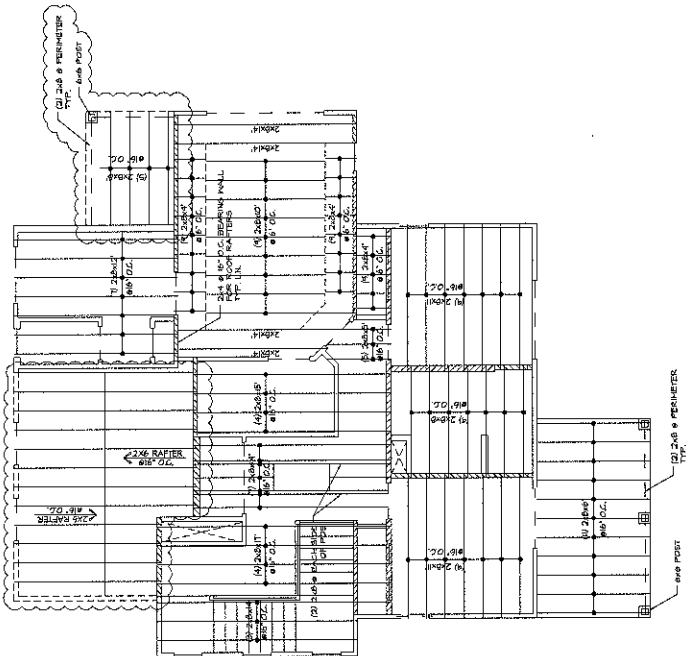
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL RAFTERS ARE 2x6 @ 16 O.C. UNLESS NOTED OTHERWISE

1000000

NOTE:
- YELLOW FINE ?
- LVS BEATS BY OTHERS,
- ALL FRAMING LENGTHS ARE ROUNDED UP
TO NEAREST EVEN NUMBER.



SECOND FLOOR CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE:

- LVL BEAMS BY OTHERS.
- ALL FRAMING LENGTHS ARE ROUNDED UP TO NEAREST EVEN NUMBER.
- EXACT LENGTHS OF FRAMING DETERMINED

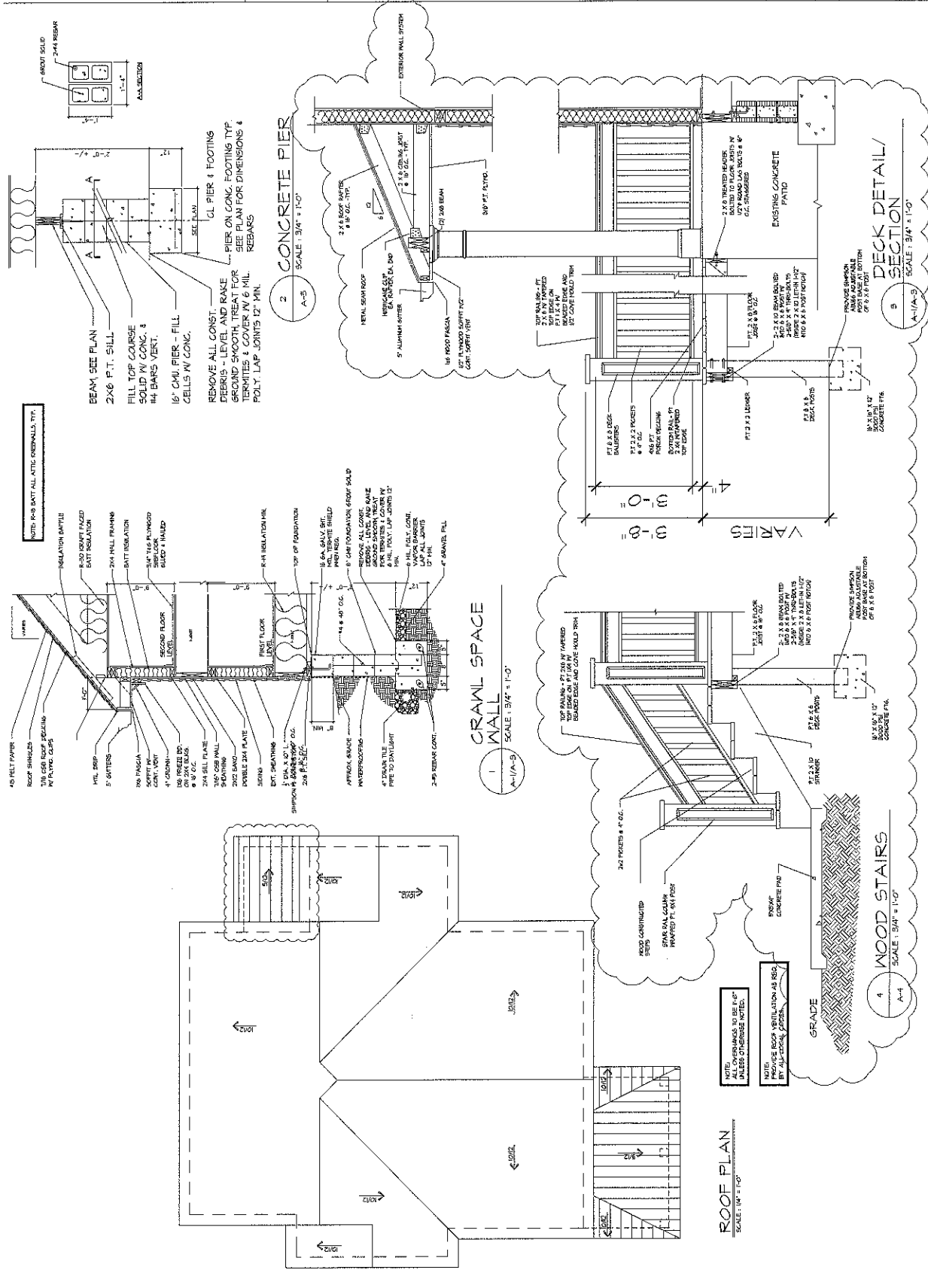
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HOME RENOVATION
AT
316 E. Lake Drive
Decatur, Georgia
PROVENANCE CONSTRUCTION SERVICES
2721 Peachtree Road Suite D 462
Atlanta, Ga. 30303

revisions	revision	date	by
1	REVISED UNIFORM AUDITED FINANCIAL STATEMENTS AND RATING 1. CREATED YAUDED CEILING IN FAMILY ROOM.		
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Sheet Title
ROOF PLAN & DETAILS

Sheet number



4 WOOD STAIRS
SCALE: 3/4" = 1'-0"
A-4

ROOF PLAN
SCALE: 1/4" = 1'-0"

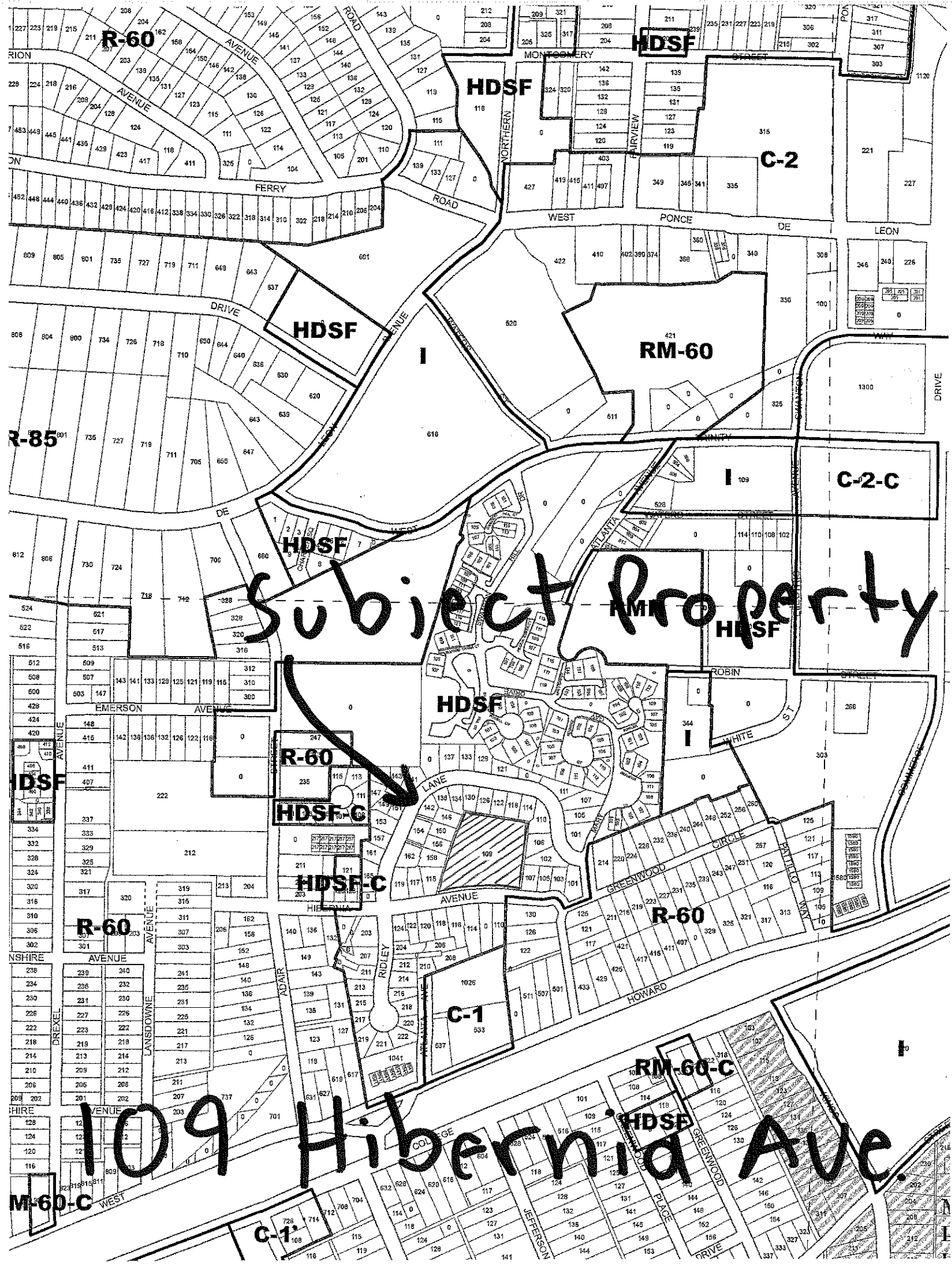
Development Department Staff Report
March 2014

Applicant: Thrive Homes, LLC
Address of Property: 109 Hibernia Avenue
Present Zoning: High Density Single Family Residential

1. Subject property is a 297 foot wide lot in an HDSF zoning district. The property has 68,728.99 square feet of lot area.
2. The applicant wishes to construct 20 detached townhomes. Each home would be separated by 10.5 feet. The applicant wishes to build non-masonry walls that have less than a 2 hour fire rating.

Proposed Project	Existing	Proposed	Ordinance
Non-masonry wall between buildings in HDSF zoning	N/A	Non-masonry wall assembly less than ten feet from property line	Masonry wall without openings between buildings in HDSF zoning

3. Decatur Zoning Ordinance Section 7.5.4 (3)(2) Fire Safety: ..Walls separating dwelling units shall be masonry walls, and exterior walls shall be masonry walls if such exterior walls are to be on the property line or less than ten feet from the property line. ... Masonry walls shall be constructed to provide a minimum fire rating of two hours. No opening shall be permitted in masonry walls and such walls shall not be loadbearing, unless constructed of a 12-inch, 75-percent solid concrete block or the equivalent.



Subject Property

109 Hibernia Ave.

properly shaded to screen the windows of habitable rooms from the direct ray of light.

- (8) *Landscaping.* New plant material shall be added to the development for privacy, shade, beauty of buildings and grounds and to screen out objectionable features.
- (9) *Front yard setback.* No new development shall be erected closer than 30 feet to the street or streets on which the development is located. Developments on corner or double frontage lots shall provide a front yard setback on each street side. Exceptions to the front yard setback requirement may be approved after public hearing by the planning commission and approval of the city commission, after consideration of the standards described in subsection 10.10.5, standards for exceptions to front yard setback requirements in the HDSF High-Density Single-Family District.
- (10) *Rear-yard setback.* Developments in HDSF Districts shall have a minimum rear yard of no less than 30 feet where such developments adjoin a R-85 or R-60 Zoning District. No less than 15 feet of the required rear yard shall be preserved as a natural buffer. Exceptions to the rear-yard setback requirement may be approved after public hearing by the planning commission and approval of the city commission, after consideration of the standards described in subsection 10.10.5, standards for exceptions to rear-yard setback requirements in the HDSF High Density Single-Family District.

3. *Dwelling unit planning.*

- (1) *Acoustics.* The acceptable standard for acoustics is 50 decibels, dba, for interior walls between dwelling units.
- (2) *Fire safety.* Each dwelling unit shall be provided with two exits as remote from each other as possible. All exits

shall provide continuous means of egress to the exterior which is accessible to a street or to a common open space leading to a street. Walls separating dwelling units shall be masonry walls, and exterior walls shall be masonry walls if such exterior walls are to be on a property line or less than ten feet from the property line. A separation of any existing building and new construction shall be with a masonry wall or a minimum distance of ten feet of open space. Masonry walls shall be constructed to provide a minimum fire rating of two hours. No opening shall be permitted in masonry walls and such walls shall not be loadbearing, unless constructed of a 12-inch, 75-percent solid concrete block or the equivalent.

One fire hydrant shall be located within 500 feet of any dwelling unit inside a development. Hydrants can be located on a public street or on a drive within the development.

- (3) *Private exterior area.* All dwelling units in HDSF developments shall have at least one private exterior area. The minimum area shall be 150 square feet. Required private exterior areas shall contain no mechanical equipment. Arrangement of private exterior areas shall afford maximum privacy to occupants. A development in an HDSF district with land area of less than 20,000 square feet is not required to provide a common open area. However, an additional private yard area within each individual lot shall be provided. The minimum area of each additional private yard shall be 150 square feet. Such yards shall be distinct and separate yards, but no screening walls shall be required.
- (4) *Dwelling entrances.* Private and protected entrances shall be provided for each dwelling unit, to include



**Application for Variance
City of Decatur, Georgia**

Please print or type all information

Name of Applicant: THRIVE HOMES, LLC

Address: 500-M AMSTERDAM AVENUE NE
ATLANTA, GA 30306

Telephone: 404-474-4814

Name of Property Owner: OAK GROVE HOMES, LLC

Address: 2170 SATELLITE BLVD, SUITE 175
DULUTH, GA 30097

Telephone: 770-402-7799

Address of property for which variance is sought:

109 Hibernia Avenue

Fee: Please include a check in the amount of \$100 payable to the City of Decatur.

Attachments: Attach a survey of the property and scale drawings showing existing and proposed improvements. Provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner.

Please provide the following information. All questions must be answered.

1. What is the variance requested? What code requirement do you wish to vary from?
SEE ATTACHED.

7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.

SEE ATTACHED.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

SEE ATTACHED.

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



Signature of Applicant

Date: 2/19/14

**Oak Grove Homes, LLC
Gus Pounds
770-402-7799**

February 18, 2014

To Whom It May Concern:

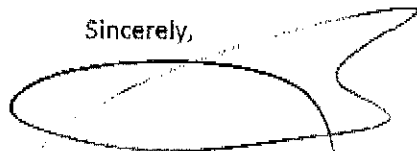
Please accept this letter as authorization for Thrive Homes, LLC and/or Adam Stillman of Residential Design to act on our behalf and as our agent for the application of the requisite zoning variance(s) for our property located at 109 Hibernia Avenue Decatur, GA 30030.

This shall include:

- The completion and signing of the zoning variance application(s).
- Discussions and presentations to the City of Decatur.

If you have any questions or require any further information, please do not hesitate to call me at 770-402-7799. Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink, appearing to be "Gus Pounds", written over a large, loopy oval shape.

Gus Pounds
Oak Grove Homes, LLC

**Application for Variance
City of Decatur, Georgia**

Name of Applicant: Thrive Homes, LLC

Address: 500-M Amsterdam Avenue NE Atlanta, GA 30306

Telephone: 404-474-4814

Name of Property Owner: Oak Grove Homes, LLC

Address: 2170 Satellite Boulevard, Suite 175 Duluth, GA 30097

Telephone: 678-474-4601

Address of property for which variance is sought: **109 Hibernia Avenue Decatur, GA 30030**

1. What is the variance requested? What code requirements do you wish to vary from?

We are requesting a variance to allow detached townhomes with a minimum of ten feet of open space between structures to be built without 2 hour rated masonry exterior walls.

The code requirement which we wish to vary from is stated in the underlined portion of the City of Decatur Zoning Ordinance, section 7.5.4 (3.2) below:

Fire Safety. Each dwelling shall be provided with two exits as remote from each other as possible. All exits shall provide continuous means of egress to the exterior which is accessible to a street or to a common open space leading to a street. Walls separating dwelling units shall be masonry walls, and exterior walls shall be masonry walls if such exterior walls are to be on a property line or less than ten feet from the property line. A separation of any existing building and new construction shall be with a masonry wall or a minimum distance of ten feet of open space. Masonry walls shall be constructed to provide a minimum fire rating of two hours. No opening shall be permitted in masonry walls and such walls shall not be loadbearing, unless constructed of a 12-inch, 75 percent solid concrete block or the equivalent.

2. What are the extraordinary and exceptional conditions pertaining to the specific piece of property in question (narrowness, shallowness, shape, or topography)?

The subject property is zoned HDSF and according to the zoning district regulations, each detached townhome is required to have a firewall even if the structures are a minimum of ten feet apart because the above referenced code section places the requirement on the structure as it relates to the property line rather than any adjacent structures. A property line is an invisible line which cannot be harmed or endangered by the spread of fire; however, the distance between two structures can affect the spread of fire.

This is not only inconsistent with the next sentence within the same code section which states, 'A separation of any existing building and new construction shall be with a masonry wall or a minimum of ten feet of open space,' but is also inconsistent with Chapter 18 in the City of Decatur Code of Ordinances as well as the currently adopted International Residential Code Section R302.2 and Table R302.1(1) and the International Building Code Table 602. See these codes section below. The Georgia State Amendments are consistent with the International Residential Code and International Building Code and are attached at the end of this application as a reference.

- City of Decatur, Code of Ordinances: Chapter 18, Section 18-56. Adoption.

Section 3005. Exceptions to restrictions in fire district.

(10) One and two-family dwelling, HDSF dwelling and townhouses may be of any type of constructions permitted by this code provided that structure are separated by a minimum of ten feet OR are separated by a masonry wall having a two-hour fire resistance rating.

- 2012 International Residential Code: Section R302.2 Townhouses.

Each townhouse shall be considered a separate building and shall be separated by fire-resistance-rated wall assemblies meeting the requirements of Section R302.1 for exterior walls.

Section R302.1 Exterior Walls.

Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1 (1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply with Table R302.1(2).

Table R302.1(1) Exterior walls. (Excerpt)

Exterior Wall Element		Minimum Fire-Resistance Rating	Minimum Fire Separation Distance
Walls	Fire-resistance rated	1 hour-tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
	Not Fire-resistance rated	0 hours	≥ 5 feet

Note: The table above does not require exterior walls with a fire separation distance that is greater than or equal to 5 feet to be rated.

- 2012 International Building Code: Table 602 Fire-Resistance Rating Requirements For Exterior Walls Based On Fire Separation Distance (Excerpt)

Fire Separation Distance = X (feet)	Type of Construction	Occupancy Group A, B, E, F-2, R, S-2, U
$10 \leq X < 30$	IIB, VB	0

Note: The detached townhomes will be type VB construction in the Occupancy Group R. The table above states that if the fire separation distance is greater than or equal to 10 feet, then no fire rating is required for the exterior walls.

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

We would like to create a community of detached townhomes to provide homeowners with the townhome lifestyle but with the luxuries of a detached single family dwelling which includes opportunities for allowing natural light and ventilation in on all sides of the structure and being detached from your neighbor. The way the zoning code is currently being interpreted, we are required to construct a masonry wall which would not allow for the natural light and ventilation that we seek for each unit.

- 4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?**

The requirement that the townhome structures must be ten feet from a property line for a two hour firewall to not be required applies to this property and other HDSF zoned properties where the property lines are drawn at the exterior walls of the units.

- 5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.**

As previously stated in #3 above, this variance would allow for natural light and ventilation into the detached townhome that the two hour masonry firewall would otherwise not allow for. Providing natural light and ventilation into a home is essential for the health of the occupants and enjoyment of the home and is in good keeping with energy efficiency practices.

- 6. Did the condition for which the variance is sought result from an action by the applicant?**

No.

- 7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.**

The granting of this variance will have no impact on the supply of light and air to adjacent properties. It will only have a positive impact on each individual detached townhome as previously stated in #5 above.

The granting of this variance will have no impact on the public streets or public safety, and established property values could only be positively impacted by not having large, blank monolithic firewalls.

We believe and find that the codes support our belief that basing the fire safety on the location of a structure as it relates to the property line is arbitrary and not the intent of the code but it is the distance between structures that impacts fire safety. The various codes stated above support a distance of ten feet between structures to be the safe distance and for the two hour firewall to not be required.

For example, the zoning code section 7.5.4 (3.2) states that separation of any existing building and new construction shall be with a masonry wall OR a minimum distance of ten feet of open space. If ten feet is considered a safe distance between an old and a new building for fire not to spread, then fire is not going to spread differently between two new buildings that are also separated by a minimum of ten feet. Similarly, in R-60 zoning, single family detached homes are allowed to be built as close as five feet from the property line as long as the adjacent structure is also five feet from the property line leaving a ten foot distance between the two structures.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

The Decatur land use plan has designated the subject property as HDSF allowing for the detached townhomes we intend to construct. The granting of this variance does not change the look and feel of the area; however, it will serve to improve the quality of life of the future homeowners by providing the natural light and ventilation that any homeowner deserves to receive.

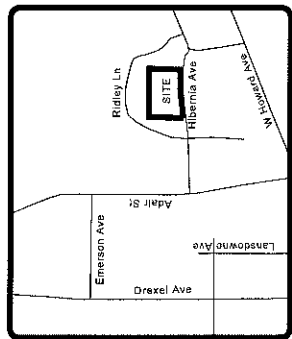
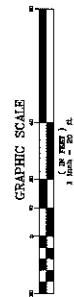
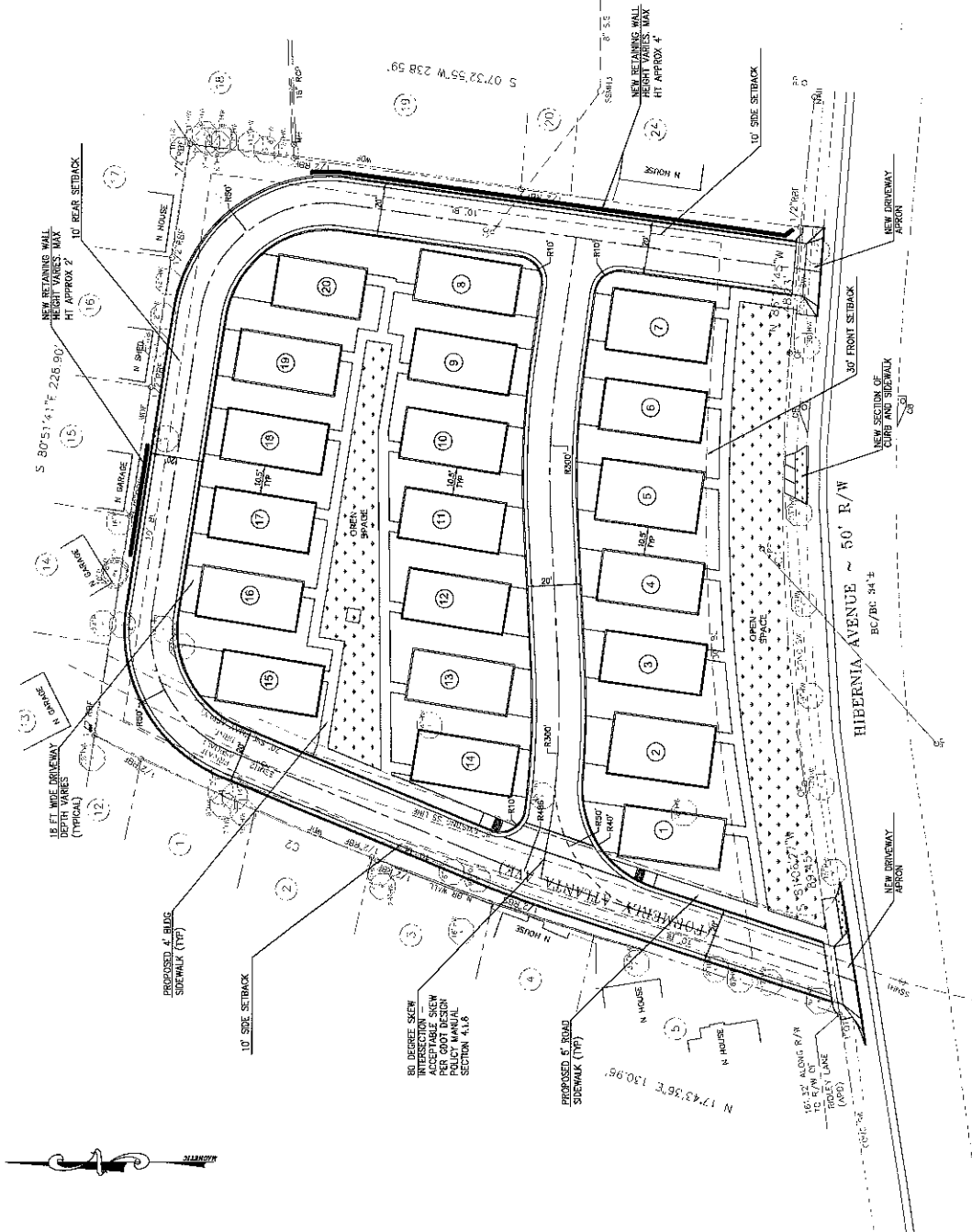
I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



Signature of Applicant

Date: 2/19/14

24 HOUR EMERGENCY CONTACT: JOHNATHAN ULSAKER (404) 474-4814



Site Notes:

- [illegible]

Preliminary Site Plan Area Chart:

[illegible]



Georgia State Amendments to the International Building Code (2012 Edition)



Georgia Department of Community Affairs
Community Development Division
60 Executive Park South, N.E.
Atlanta, Georgia 30329-2231
(404) 679-3118
www.dca.ga.gov

Revised January 1, 2014

**GEORGIA STATE MINIMUM STANDARD BUILDING CODE
(INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS)**

The INTERNATIONAL BUILDING CODE, 2012 Edition, published by the International Code Council, when used in conjunction with these and any other Georgia State Amendments to the INTERNATIONAL BUILDING CODE, 2012 Edition, shall constitute the official *Georgia State Minimum Standard Building Code*.

GEORGIA STATE AMENDMENTS

CODE REFERENCE:

- (a) Replace all references to the ICC *Electrical Code* with references to the *Georgia State Minimum Standard Electrical Code (National Electrical Code with Georgia State Amendments)*.
- (b) Replace all references to the *International Energy Conservation Code (IECC)* with references to the *Georgia State Minimum Standard Energy Code (IECC with Georgia State Supplements and Amendments)*. The *Georgia State Minimum Standard Energy Code* shall be used for efficiency and coefficient of performance ratings of equipment.

APPENDICES:

Appendices are not enforceable unless they are specifically referenced in the body of the code or adopted by the Department of Community Affairs or the Authority Having Jurisdiction.

SCOPE:

The provisions of the *Georgia State Minimum Standard Building Code* shall apply to the construction, *alteration*, relocation, enlargement, replacement, *repair*, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.

Exception #1: Detached one- and two-family dwellings and townhouses separated by a 2-hour fire-resistance-rated wall assembly, not more than three *stories* above *grade plane* in height with a separate *means of egress* and their accessory structures shall comply with the *Georgia State Minimum Standard One and Two Family Dwelling Code (International Residential Code for One- and Two-Family Dwellings with Georgia State Amendments)*.

Exception #2: The following table titled 'Codes Reference Guide' establishes specific primary and supplementary code applications and is to be applied by the authority having jurisdiction.



Georgia State Amendments to the International Residential Code for One- and Two- Family Dwellings

(2012 Edition)



Georgia Department of Community Affairs
Community Development Division
60 Executive Park South, N.E.
Atlanta, Georgia 30329-2231
(404) 679-3118
www.dca.ga.gov

Revised January 1, 2014

**GEORGIA STATE MINIMUM STANDARD
ONE AND TWO FAMILY DWELLING CODE
(INTERNATIONAL RESIDENTIAL CODE FOR
ONE- AND TWO-FAMILY DWELLINGS
WITH GEORGIA STATE AMENDMENTS)**

The INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, 2012 Edition, published by the International Code Council, when used in conjunction with these and any other Georgia State Amendments to the INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, 2012 Edition, shall constitute the official *Georgia State Minimum Standard One- and Two-Family Dwelling Code*.

Part IV, Energy Conservation (Chapter 11), is deleted from the INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. Substitute all references to Chapter 11 ENERGY EFFICIENCY with references to the *Georgia State Minimum Standard Energy Code (International Energy Conservation Code with Georgia State Supplements and Amendments)*.

Part VII, Plumbing (Chapters 25 through 33), is deleted from the INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. Substitute for plumbing requirements the *Georgia State Minimum Standard Plumbing Code (International Plumbing Code with Georgia State Amendments)*.

Part VIII, Electrical (Chapters 34 through 43), is deleted from the INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. Substitute for electrical requirements the *Georgia State Minimum Standard Electrical Code (National Electrical Code with any Georgia State Amendments)*.

GEORGIA STATE AMENDMENTS

CODE REFERENCES:

- (a) Replace all references to the ICC *Electrical Code* with references to the *Georgia State Minimum Standard Electrical Code (National Electrical Code with any Georgia State Amendments)*.
- (b) Replace all references to the *International Energy Conservation Code (IECC)* with references to the *Georgia State Minimum Standard Energy Code (IECC with Georgia State Supplements and Amendments)*. The *Georgia State Minimum Standard Energy Code* shall be used for heating and air conditioning equipment.

SCOPE:

The provisions of the *International Residential Code for One- and Two-family Dwellings* shall apply to the construction, *alteration*, movement, enlargement, replacement, repair, equipment, use and occupancy, location, removal and demolition of detached one- and two-family dwellings and townhouses separated by a 2-hour fire-resistance-rated wall assembly, not more than three stories above *grade plane* in height with a separate means of egress and their *accessory structures*.

Exceptions:

1. Live/work units complying with the requirements of Section 419 of the *International Building Code* shall be permitted to be built as one- and two-family *dwellings* or townhouses. Fire suppression required by Section 419.5 of the *International Building Code* when constructed under the *International Residential Code for One- and Two-family Dwellings* shall conform to NFPA 13D.
2. Owner-occupied lodging houses with five or fewer guestrooms shall be permitted to be constructed in accordance with the *International Residential Code for One- and Two-family Dwellings* when equipped with a fire sprinkler system in accordance with NFPA 13D.

IMPORTANT NOTE:

The intent of the GA amendments is that fire sprinklers shall not be mandatory in one- and two-family dwellings. However, the provisions of the 2012 Edition of the *International Residential Code for One- and Two-Family Dwellings* regarding automatic fire sprinklers are to remain in the Code for use when the builder/developer or owner chooses to install fire sprinklers as an option.

{Ref. O.C.G.A. §8-2-4. Neither the state residential and fire building code nor any residential and fire building code adopted by a political subdivision of the state adopted after May 24, 2010, shall include a requirement that fire sprinklers be installed in a single-family dwelling or a residential building that contains no more than two dwelling units.}

APPENDICES:

Appendices are not enforceable unless they are specifically referenced in the body of the code or adopted by the Department of Community Affairs or the Authority Having Jurisdiction.

****Revise the International Residential Code for One- and Two-Family Dwellings, 2012 Edition, as follows:***

CHAPTER 1 SCOPE AND ADMINISTRATION

****Delete Chapter 1 'Scope and Administration' without substitution. Chapter 1 to remain in the Code as a reference and guide for local governments in development of their own Administrative Procedures.***

(Effective January 1, 2014)

CHAPTER 2 DEFINITIONS

SECTION R202 DEFINITIONS

*Revise Section R202 'Definitions' for "Lodging House" to read as follows:

LODGING HOUSE. A one-family dwelling with 5 or fewer guestrooms, where one or more occupants are primarily permanent in nature, and rent is paid for guestrooms.
(Effective January 1, 2014)

*Revise Section R202 'Definitions' for "Townhouse" to read as follows:

TOWNHOUSE (ROW HOUSE). A single-family *dwelling unit* constructed in a group of three or more attached units. Each unit extends from foundation to roof, not more than three stories in height, with a separate means of egress, and with an open space/*yard* or public way on at least two sides. Each townhouse shall be considered a separate building with independent exterior walls and shall be separated by a 2-hour fire-resistance-rated wall assembly.
(Effective January 1, 2014)

CHAPTER 3 BUILDING PLANNING

SECTION R302 FIRE-RESISTANT CONSTRUCTION

*Revise Section R302.1 'Exterior walls' to read as follows:

R302.1 Exterior walls. Construction, projections, openings and penetrations of *exterior walls* of *dwelling*s and accessory buildings shall comply with Table R302.1(1); or *dwelling*s equipped throughout with an *automatic sprinkler system* installed in accordance with NFPA 13D shall comply with Table R302.1(2).
(Existing exceptions to remain as written).
(Effective January 1, 2014)

*Revise Section R302.2 'Townhouses' exception to read as follows:

R302.2 Townhouses. Each *townhouse* shall be considered a separate building and shall be separated by fire-resistance-rated wall assemblies meeting the requirements of Section R302.1 for exterior walls.

Exception: A common 2-hour fire-resistance-rated wall assembly tested in accordance with ASTM E 119 or UL 263 is permitted for townhouses, if such walls do not contain plumbing or mechanical equipment, ducts or vents in the cavity of the common wall. The wall shall be rated for fire exposure from both sides and shall extend to and be tight against exterior walls and the underside of the roof sheathing. Electrical installations shall be installed in accordance with the National Electrical Code (NEC). Penetrations of electrical outlet boxes shall be in accordance with Section R302.4.
(Effective January 1, 2014)

Development Department Staff Report
March 2014

Applicant: Chris Spencer
Address of Property: 126 Emerson Avenue
Present Zoning: R-60 – Single Family Residential

1. Subject property is a 50 foot wide lot developed with a single-family dwelling. The property has 7,833 square feet of lot area.
2. The applicant received a building permit for a renovation of the structure at 126 Emerson Avenue in December of 2013. A building inspection revealed that the renovation had become new construction due to an expanded scope of work. The side setback and front setback of the previous house was nonconforming. The applicant wishes to keep the nonconforming setbacks.

Variances Needed for Proposed Project	Existing	Proposed	Ordinance
Minimum Side Yard Requirements	1.6 feet	1.6 feet	10 feet
Minimum Front Yard Requirements	26 feet	26 feet	30 feet

3. Where a lot of record in an R-60 zoning district at the time of the effective date of this ordinance had less than the required minimum lot width, one of the minimum required side yards may be reduced by one-half foot for each one foot that the lot width is less than 60 feet, under the following conditions:
 - a. There is a minimum distance of ten feet between the dwelling and the principal building on the property adjacent to the reduced side yard.
 - b. No side yard may be reduced below a minimum of five feet.
4. The required front yard in the R-60 zoning district is 30 feet. However, where a block has been developed with dwellings that do not comply with this requirement, the minimum front yard of an individual property is determined by "line drawn between the two closest front corners of the adjacent buildings".
5. The proposed project will meet the 40% floor area and lot coverage limits for the site. This site is allowed 3,539 square feet or 45% lot coverage.

Subject Property



HDSF

HDSF

R-60

R-60

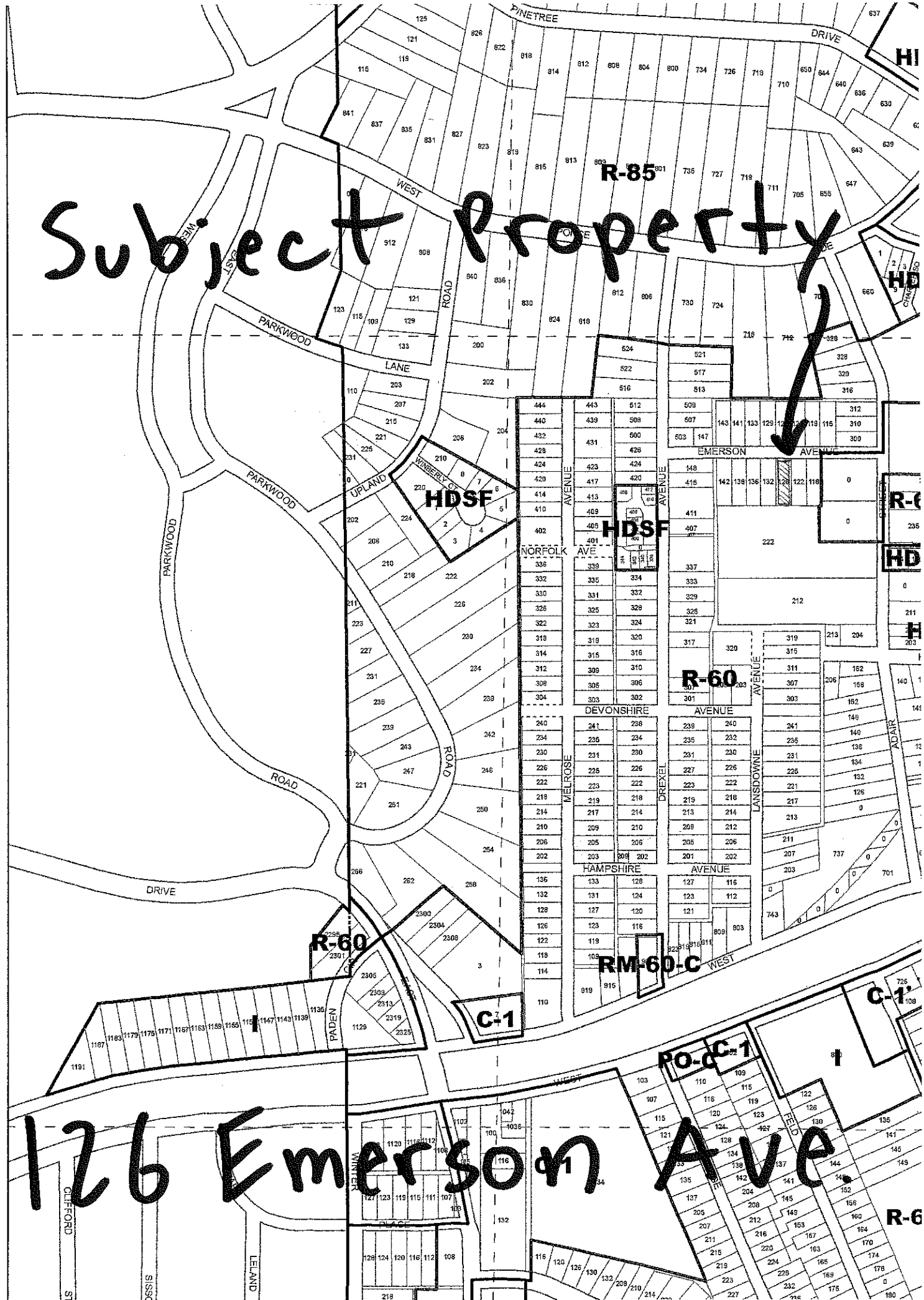
RM-60-C

C-1

PO-C-1

R-6

126 Emerson Ave





**Application for Variance
City of Decatur, Georgia**

Please print or type all information

Name of Applicant: Chris Spencer / Spencer Love Homes LLC

Address: 505 Hanes Rd
Maricella GA 30060

Telephone: 678-918-4599

Name of Property Owner: Spencer Love Partners LLC

Address: 505 Hanes Rd
Maricella GA 30060

Telephone: 678-918-4599

Address of property for which variance is sought:

126 Emerson Ave

Fee: Please include a check in the amount of \$100 payable to the City of Decatur.

Attachments: Attach a survey of the property and scale drawings showing existing and proposed improvements. Provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to have floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner.

Please provide the following information. All questions must be answered.

- 1. What is the variance requested? What code requirement do you wish to vary from?**

Project started out of renovation. There were rotten studs in the walls which needed to be replaced which turned project into new construction.
- Side setback

2. What are the extraordinary and exceptional conditions pertaining to the specific piece of property in question (narrowness, shallowness, shape or topography)?

narrow lot with existing foundation + large
tree in front

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

Project started as renovation but due to rotten
studs that needed to be replaced it turned into
new construction

4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?

Rotten wood ~~caused~~ ^{in cavity hole} had to be replaced
We reused all the original studs that were in
good condition.

5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.

Building on existing foundation where it is and was
originally permitted minimized disturbance to tree
in front and leaves elevations + driveway as is.

6. Did the condition for which the variance is sought result from an action by the applicant?

Replacing rotten studs with new caused project
to turn into new construction.


7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.

Variance should not ~~not~~ have an affect has
home is ^{being built on} ~~built on~~ existing foundation.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

Variance will allow home to comply to original
permitted plan

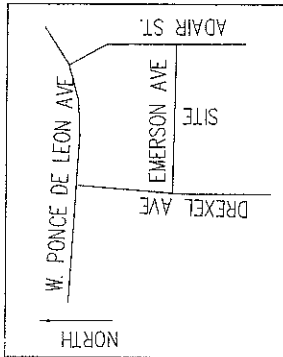
I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



Signature of Applicant

Date: 2-19-14

JN:13 316.01



LOCATION MAP (NOT TO SCALE)

REFERENCE: DEED BOOK 21975 PG 128
DEED BOOK 10698 PG 832
DEED BOOK 10873 PG 12
DEED BOOK YY PG 508

FLOOR AREA RATIO		
1st FLOOR	2nd FLOOR	TOTAL
1,520 SQ. FT.	1,398 SQ. FT.	2,918 SQ. FT.
3,089 (FLOOR AREA) / 7,833 (LOT AREA) = 39.4%		

FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA L3088C0068J EFFECTIVE DATE MAY 16, 2013

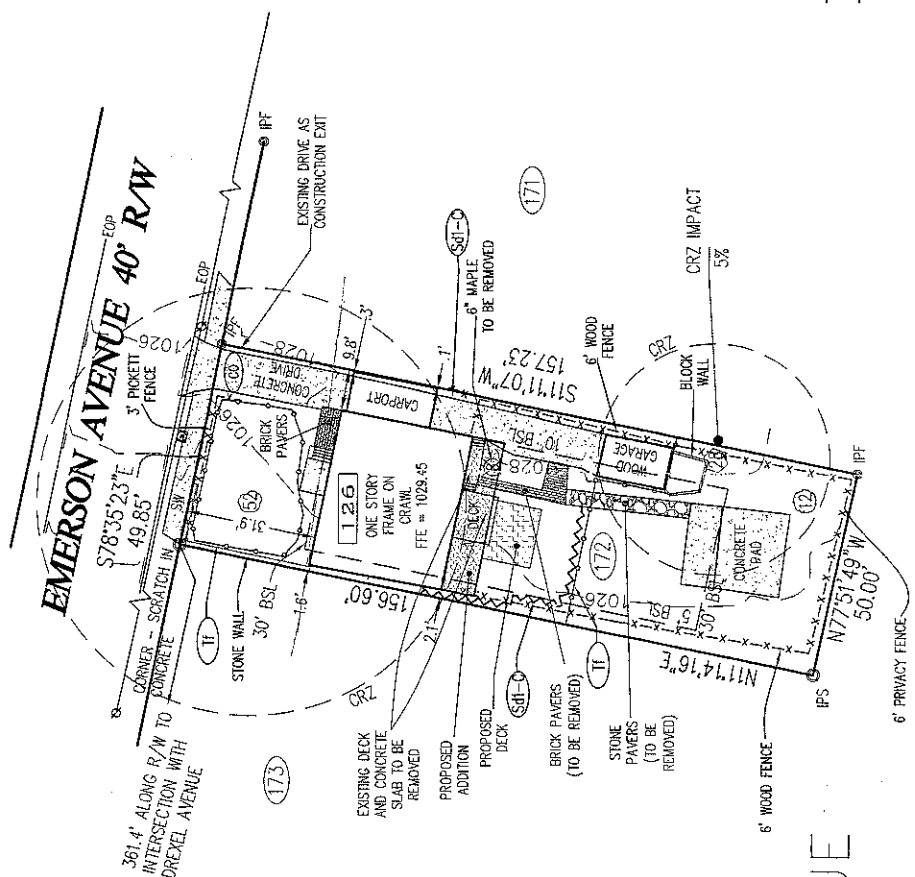
EXISTING IMPERVIOUS SURFACES:
DRIVE = 689 SQ. FT.
HOUSE = 1431 SQ. FT.
GARAGE = 171 SQ. FT.
PORCH = 112 SQ. FT.
PAD = 474 SQ. FT.
WALKS = 240 SQ. FT. (TO BE REMOVED)
WALLS = 58 SQ. FT.
DECK = 108 SQ. FT. (TO BE REMOVED)
TOTAL IMPERVIOUS = 3,283 SQ. FT. (41.9%)
TOTAL LOT = 7,833 SQ. FT.

PROPOSED IMPERVIOUS SURFACES:
DRIVE = 689 SQ. FT.
HOUSE = 1431 SQ. FT.
GARAGE = 171 SQ. FT.
PORCH = 112 SQ. FT.
PAD = 474 SQ. FT.
WALKS = 240 SQ. FT.
WALLS = 58 SQ. FT.
DECK = 108 SQ. FT. (TO BE REMOVED)
TOTAL IMPERVIOUS = 3,413 SQ. FT. (43.6%)
TOTAL LOT = 7,833 SQ. FT.

LEGEND

- EOP EDGE OF PAVEMENT (CURB)
- PP POWER POLE
- R/W RIGHT OF WAY
- IPF IRON PIN FOUND (1/2" REBAR)
- IPS 1/2" REBAR SET
- SW SIDE WALK
- OHP OVERHEAD POWER
- FH FIRE HYDRANT
- WM WATER METER
- OAK
- HARDWOOD
- MAGNOLIA
- MAPLE
- CONCRETE

TREE SYMBOLS
X = DIAMETER IN INCHES



DISTURBED AREA = 1,500 SQ. FT. (0.03AC)

TOTAL AREA: 7,833 SQ. FT. 0.18 AC

CALCULATED PLAT CLOSURE: 1:99,990

FIELD DATA:
TRAVERSE PRECISION: 1:10,000+
AND AN ANGULAR ERROR OF 2 SECONDS PER ANGLE
AND WAS UNADJUSTED

EQUIPMENT:
TOPCON GPT 3005 TOTAL STATION

SITE PLAN FOR
SPENCER LOVE PARTNERS, LLC
LOT 172, LENOX PARK SUBDIVISION

126 EMERSON AVENUE

CITY OF DECATUR, DEKALB COUNTY, GEORGIA
LAND LOT 236, DIST 15
DATE: NOVEMBER 22, 2013

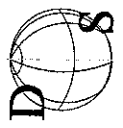
24 HOUR CONTACT:
CHRIS SPENCER 770.318.6346



PATRICK F. CAREY, GA R.L.S. #3077
GSWC. LEVEL II #0000058820

FOR
DEKALB SURVEYS, INC.
403 W. PONCE DE LEON
SUITE 106
DECATUR, GEORGIA 30030
404.373.5003

COPY RIGHT 2013—THIS 11 X 17
DRAWING AND REPRODUCTIONS ARE THE
PROPERTY OF THE SURVEYOR AND MAY
NOT BE REPRODUCED, PUBLISHED OR
USED IN ANY WAY WITHOUT THE
WRITTEN PERMISSION OF THIS SURVEYOR
DRAWN IN THE U.S.A.



www.dekalbsurveys.com

* 10.5.9. Where a lot of record in an R-60 zoning district at the time of the effective date of this ordinance [ord. No. 0-07-Z-15] had less than the required minimum lot width, one of the minimum required side yards may be reduced by one-half foot for each one foot that the lot width is less than 60 feet, under the following conditions:

- a. There is a minimum distance of ten feet between the dwelling and the principal building on the property adjacent to the reduced side yard.
- b. No side yard may be reduced below a minimum of five feet.

West side yard setback calculated as follows: $10 - ((60 - 50) \times 0.5) = 5$

11.05.8. For a property with an existing single-family dwelling which does not meet the present minimum side yard requirement, the zoning administrator is authorized to allow the enlargement or extension of the dwelling under the following conditions:

- The enlargement or extension does not encroach in the side yard to any greater degree than the existing dwelling.
- The enlargement or extension does not encroach into any required front or rear yard.
- There is a minimum distance of ten feet between the dwelling and the principal building on the adjacent property.

CONTACT DECATUR DEVELOPMENT DEPARTMENT (404.316.3546) TO
ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY TREE
CONSULTANT PRIOR TO ANY LAND DISTURBANCE.

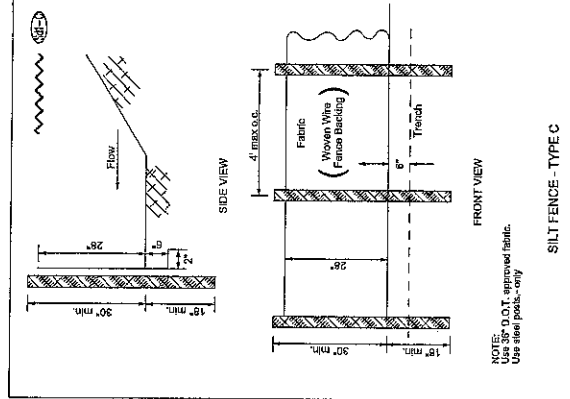
ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OR LAND DISTURBANCE

SITE PLAN SURVEY FOR
SPENCER LOVE PARTNERS, LLC
LOT 172, LENOX PARK SUBDIVISION
1126 EMERSON AVENUE

CITY OF DECATUR, DEKALB COUNTY, GEORGIA
LAND LOT 236, DIST 15
DATE: NOVEMBER 22, 2013

DATE: NOVEMBER 22, 2013

DATE: NOVEMBER 22, 20



NOTE:
Use 36" O.O.T.-approved fabric.
Use steel bolts - only

SILT FENCE - TYPE C

City of Decatur
Tree Density Requirement

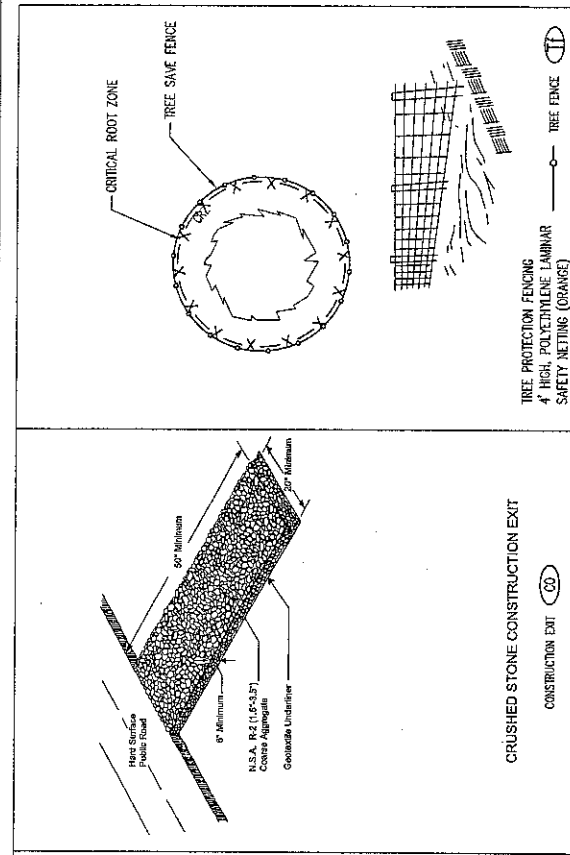
$R = 60$ lot area = 0.18 acre site

0.18 acres \times 30 units per acre = 5.2

Existing trees to be saved: = 92 inches or
10 $\frac{2}{3}$ inches

Existing trees to be removed

QTY.	SIZE	TREE TYPE
1	6"	MAGNOLIA
TOTAL QTY.	DBH TOTAL (IN.)	
1 TREE	6 INCHES	



A total of 5 trees will remain on the 0.24 acre site. These trees include:

QTY.	SIZE	TREE TYPE
1	12"	MAGNOLIA
1	28"	HARDWOOD
1	52"	HARDWOOD
TOTAL QTY.		DBH TOTAL (IN.)
3 TREES		92 INCHES

When converted to density factor, we arrive at the following values...

D.B.H.	UNITS	# OF TREES	
12"	0.3	1	= .3
28"	0.5	1	= .5
52"	1.8	1	= 1.8
The sum total of units, 3.2, is the edf. existing density factor			19.3

GSWC. LEVEL II #0000058820



PATRICK F. CAREY, GA R.L.S. #3077

FOR
DEKALB SURVEYS, INC.

400 W. Ponce de Leon
Suite 106
Decatur, Georgia 30030

404.373.9003

COPY RIGHT 2013--THIS DRAWING AND
REPRODUCTIONS ARE THE PROPERTY OF
THE SURVEYOR AND MAY NOT BE
REPRODUCED, PUBLISHED OR USED IN
ANY WAY WITHOUT THE WRITTEN
PERMISSION OF THE SURVEYOR
DRAWN IN THE U.S.A

126 EMERSON

2ND STORY ADDITION

DESIGN BY: RODERICK CLOUD

1110 CASCADE CIR.
ATLANTA, GA. 30311

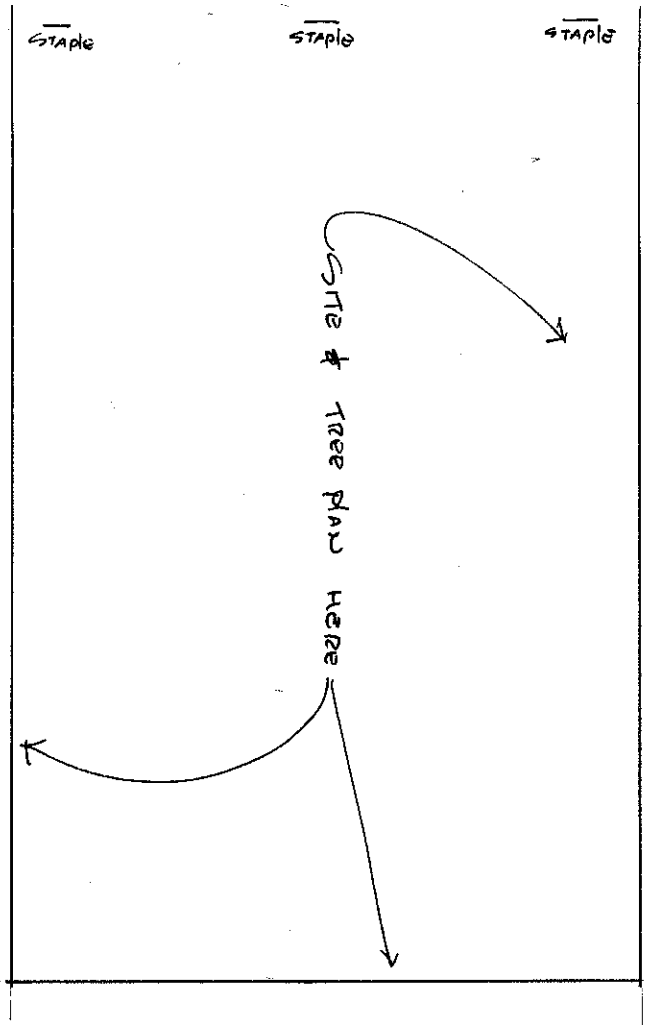
404 349 9347

DEVELOPER:

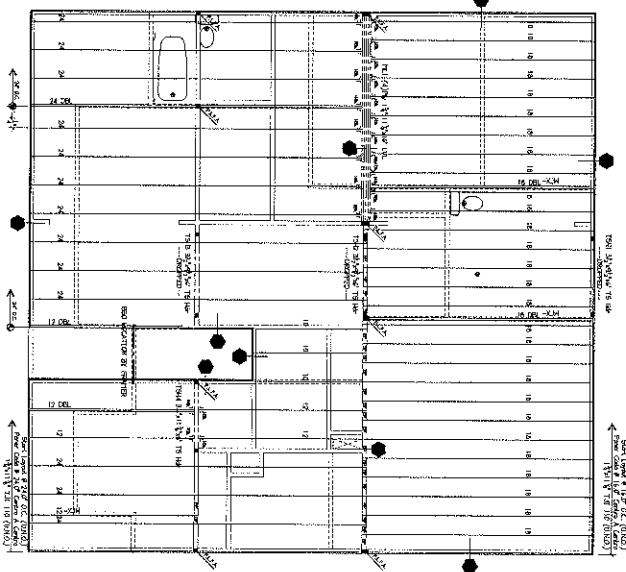
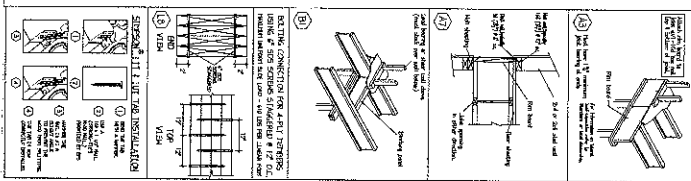
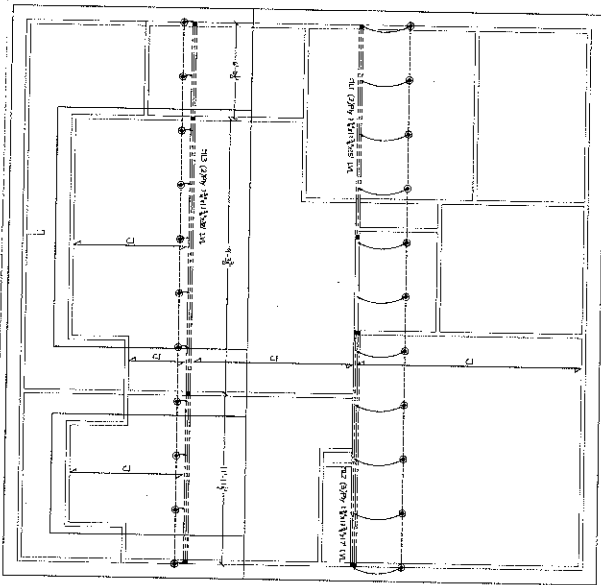
CHRIS SPENCER HONES
770-318 6346

LIST OF DRAWINGS

- A-1 FOUNDATION, 1ST, 2ND FLOOR PLANS
- A-2 EXTERIOR ELEVATIONS
- A-3 ROOF, CEILING & 1ST FLOOR FRAMING
- A-4 BUILDING SECTION
- A-5 BEAM SCHEDULE & 2ND FLOOR FRAMING







2ND FLOOR 1-JOIST PLACEMENT PLAN
CHRIS SPENCER HOMES - EMMERSON

SCALE: 1/4" = 1'-0"

PRINT (AND REINFORCE) PLANT
DO NOT SCALE TO
ADJUST TO FOUNDATION



ENGINEERED WOOD MATERIAL LIST

CHRIS SPENCER HOMES
EMMERSON

ATTN: EMMERSON HOMES

ITEM	QTY	DESCRIPTION
1	1	12\"/>

ENGINEERED WOOD MATERIAL LIST

CHRIS SPENCER HOMES
EMMERSON

ATTN: EMMERSON HOMES

ITEM	QTY	DESCRIPTION
1	1	12\"/>

Builder's FirstSource

2ND FLOOR 1-JOIST PLACEMENT PLAN

DATE: MONDAY, 25 NOVEMBER 2013 - 11:41 AM

FILE: L:_CHRIS SPENCER HOMES\EMMERSON AVE.DWG

EMMERSON HOMES

2ND FLOOR 1-JOIST PLACEMENT PLAN

DATE: MONDAY, 25 NOVEMBER 2013 - 11:41 AM

FILE: L:_CHRIS SPENCER HOMES\EMMERSON AVE.DWG

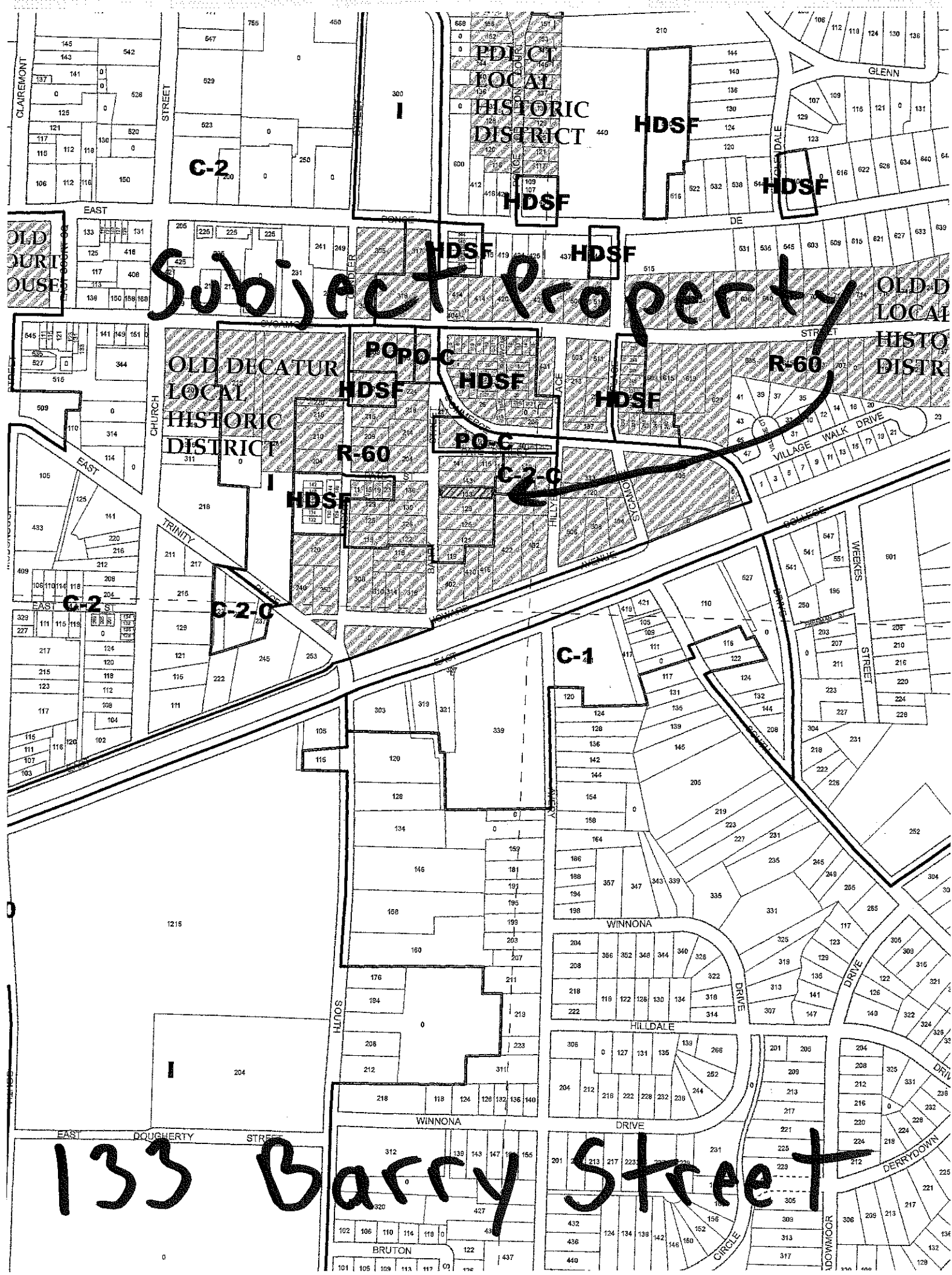
Development Department Staff Report
March 2014

Applicant: Andrew and Shelley Hammond
Address of Property: 133 Barry Street
Present Zoning: R-60 – Single Family Residential

1. Subject property is a 50 foot wide lot with 9,643 square feet of lot area.
2. The applicant wishes to add an addition onto the rear of the existing house. The new addition will be less than ten feet from an adjacent principle structure on an adjacent lot.

Variances Needed for Proposed Project	Existing	Proposed	Ordinance
Minimum Side Yard Requirements	1 foot side yard	1.6 foot side yard	6 feet

3. Where a lot of record in an R-60 zoning district at the time of the effective date of this ordinance had less than the required minimum lot width, one of the minimum required side yards may be reduced by one-half foot for each one foot that the lot width is less than 60 feet, under the following conditions:
 - a. There is a minimum distance of ten feet between the dwelling and the principal building on the property adjacent to the reduced side yard.
 - b. No side yard may be reduced below a minimum of five feet.
4. The proposed project will meet the 40% floor area limits for the site.
5. Lot coverage is currently 53.9% for the site. The proposed addition and site modifications will result in a reduction of lot coverage to 52.6%. Sites are grandfathered at their existing lot coverage as long as they do not exceed the existing coverage.





**Application for Variance
City of Decatur, Georgia**

Please print or type all information

Name of Applicant: Andrew & Shelley Hammond

Address: 133 Barry St
Decatur, Georgia 30030

Telephone: (404) 290-5327

Name of Property Owner: Andrew & Shelley Hammond

Address: 133 Barry St
Decatur, Georgia 30030

Telephone: (404) 290-5327

Address of property for which variance is sought:

133 Barry St, Decatur, Georgia 30030

Fee: Please include a check in the amount of \$100 payable to the City of Decatur.

Attachments: Attach a survey of the property and scale drawings showing existing and proposed improvements. Provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner.

Please provide the following information. All questions must be answered.

- 1. What is the variance requested? What code requirement do you wish to vary from?**

SEE ATTACHED

1. What is the variance requested? What code requirement do you wish to vary from?

A variance from the minimum side yard requirements is being requested. We are seeking a reduction of not more than 4'-0" from the required 10'-0" minimum distance between dwellings. See Section 10.5.8.c of the City of Decatur Code of Ordinances below.

Decatur, Georgia, Code of Ordinances >> PART III - CODE OF ORDINANCES >> APPENDIX A - ZONING >> ARTICLE X. SUPPLEMENTARY REGULATIONS AND MODIFICATIONS >> SECTION 10.5. GENERAL YARD MODIFICATIONS.

10.5.8. For a property with an existing single-family dwelling which does not meet the present minimum side yard requirement, the zoning administrator is authorized to allow the enlargement or extension of the dwelling under the following conditions:

- a. The enlargement or extension does not encroach in the side yard to any greater degree than the existing dwelling.
- b. The enlargement or extension does not encroach into any required front or rear yard.
- c. There is a minimum distance of ten feet between the dwelling and the principal building on the adjacent property.

2. What are the extraordinary and exceptional conditions pertaining to the specific piece of property in question (narrowness, shallowness, shape or topography)?

Our property is a narrow, nonconforming R-60 lot with the dwelling situated to the north side of the property (where the minimum side yard variance is being requested) due to the original placement of the dwelling and an existing joint driveway (DeKalb County, Georgia; Deed Book 9534 Page 372) on the south side of the property.

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

Our house was originally placed 1.6 feet from the northern property and the adjacent dwelling (to the north) was originally placed 4.4 feet from the property line (providing a total separation of 6 feet) and our lot is narrow (nonconforming R-60) with a joint driveway on the south side. Therefore, designing a rear single story addition that is both in harmony with and complimentary to the existing dwelling, and adjacent dwellings, and that maximizes usable living space poses significant and costly challenges if we are not able to extend the home in line with the existing side yard setback.

4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?

The specific circumstances and conditions of our land and dwelling do not generally apply to the properties in the vicinity. Other properties on our street are nonconforming R-60 and some have joint driveways, but similar narrow side yard circumstances generally do not exist.

5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.

We moved to the City of Decatur ten years ago for many reasons, including the quality of the school system and City services, the "small town" feel and involved community, and the proximity to our workplaces and aging family. We chose the Old Decatur neighborhood because we wanted to be a part of this particular community, with pedestrian access to downtown Decatur, MARTA services, parks, the library and recreational center, and the elementary school. The house was originally built with only one central room (20' x 21') that acts as a combined kitchen, dining, and family/living room, with almost no storage space, and with the master bedroom and 2nd bathroom opening directly into the this area. We are therefore not able to take full advantage of our property- and enjoy enough room for our growing family- under this current configuration.

Granting of this variance will allow us expand our house and create needed useable living space to accommodate our growing family in a manner that is consistent with the existing structure, existing side yard setbacks, and in harmony with the adjoining dwellings and their rear setbacks'. This variance will also allow us to expand our home without negatively affecting the existing joint driveway agreement and off street parking and in a way that will reduce our current impervious lot coverage.

Due to the current position of the house on the property, the existing floor plan and roof structure of our home, and the existence of the joint driveway on the south side of the property, the design and layout of a rear addition that would not require a side yard variance (and that would not impact the joint driveway agreement and ingress and egress of vehicles) would not be in harmony with the existing dwelling or the adjacent dwellings, would require significant reconfiguration of our current floor plan, and would require significant reconfiguration of the existing landscape and hardscape that would most likely result in the reduction of off street parking.

6. Did the condition for which the variance is sought result from an action by the applicant?

No. Our home has been in place for >100 years and the principal building on the adjacent property (to the north) has been in place for >75 years, therefore the existing north side yard setback was in place before the current zoning ordinances were enacted.

BARRY STREET

CURB

50.00'

N01°20'08"E

PAVERS

STONE

DECK

30' BSL

ONE STORY FRAME ON CRAWL SPACE

133

HOUSE

10' ALONG THE RIGHT OF WAY TO THE INTERSECTION OF BARRY STREET & PALE STREET

8.9'

DECK

1.6'

4.4'

6.5'

SHED

PAVERS 10' BSL

10' BSL

GRAVEL

STONE

GRAVEL

30' BSL

PAVERS

SHED

TWO STORY FRAME DWELING ON SLAB

192.66'

S89°30'18"E

POSSIBLE OVERLAP

BOUNDARY LINE

AGREEMENT RECOMMENDED

CHAIN LINK FENCE

193.13'

N00°36'27"E

45.66'

S01°52'37"W

50.00'

Barry Street

EXISTING 1ST FLOOR DECK TO BE REMOVED

NEW ONE STORY ADDITION

NEW 1ST FLOOR DECK AND STAIRS

1'-6"

1'-0"

NEW PAVEMENT GRAVEL PARKING

EXISTING GRAVEL PARKING

EXISTING SHED TO BE REMOVED

EXISTING 2ND FLOOR DECK TO BE REMOVED

EXISTING 2ND STORY AND FRAME

















10'-0" BUILDING SETBACK LINE

NEW GRAVEL DRIVEWAY W/ 3'-0" WIDE GRASS STRIP

IMPERVIOUS COVERAGE SUMMARY	
New concrete driveway	1002 S.F.
Gravel parking pad	418
Existing House	1457
Existing Front Porch	132
New Addition	859
New Deck and steps	116
New paved walk	44
Existing stone walk	73
Existing walls	52
Existing Two Story	591
Existing conc. sidewalk	201
Existing Shed	78
TOTAL IMPERVIOUS	5073 S.F.
CURRENT IMPERVIOUS	5189 S.F.
NET REDUCTION	124 S.F.

A diagram of a sphere with four axes labeled: N (PLAT) at the top, S at the bottom, E on the right, and W on the left. The sphere is shown with latitude and longitude lines.

LEGEND

	EOP	EDGE OF PAVEMENT (CONC)
	R/W	RIGHT OF WAY
	PF	IRON PINS FOUND (1/2" REBAR)
	PS	1/2" REBAR SET
	SW	SIDE WALK
	C/O	CLEAN OUT
	DWP	OVERHEAD POWER
	FH	FIRE HYDRANT
	CB	CATCH BASIN
	LM	MANHOLE
	WM	WATER METER
	WV	WATER VALVE
	GV	GAS VALVE
	GSM	GAS METER
	LP	LIGHT POLE
		CONCRETE PAD

DEKALB SURVEYS, INC.
403. W. PONCE DE LEON
SUITE 106
DECATUR, GEORGIA 30030
404.373.9003

PROPOSED ADDITION FOR

Andy and Shelley Hammond

133 Barry Street, Decatur, GA 30030

John Steven Conway, R.A.

ARCHITECT

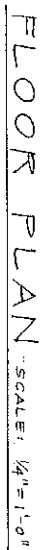
307 Glenn Circle, Decatur, GA 30030

Office: 404-378-5787

Provisions

5

Sheet
SP-1
OF 1 Sheet



118 X 24 INCHES ON NO. 1000H GALVANIZED STEEL

REVISIONS	BY

ARCHITECT

307 Glenn Circle, Decatur, GA 30030

Office: 404-378-5787

PROPOSED ADDITION FOR

Andy and Shelley Hammond

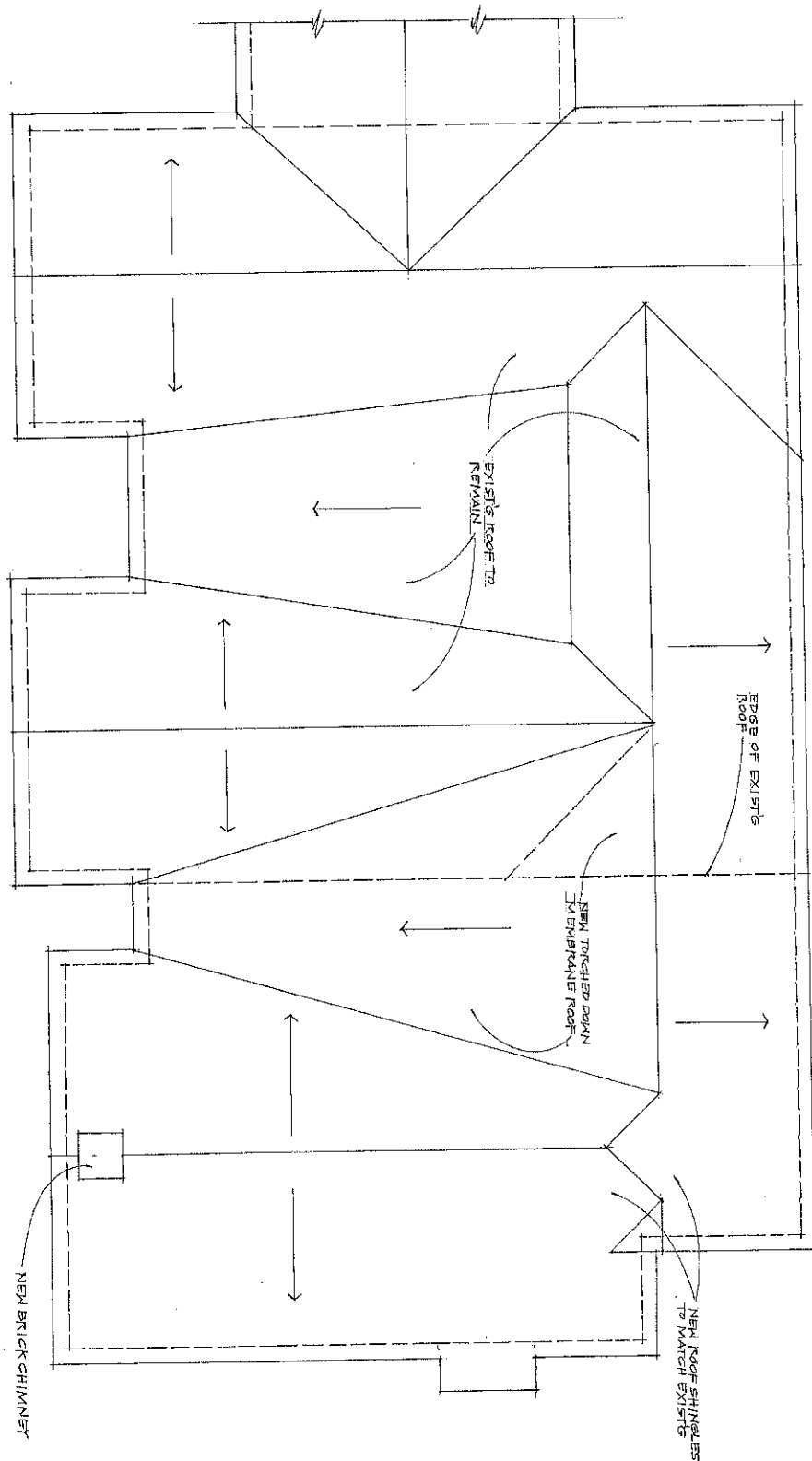
133 Barry Street, Decatur, GA 30030

Data 1-23-14

Scale	NOTED
Drawn	✓ SC

Job

Sheet
A-1
Of 4 Sheets



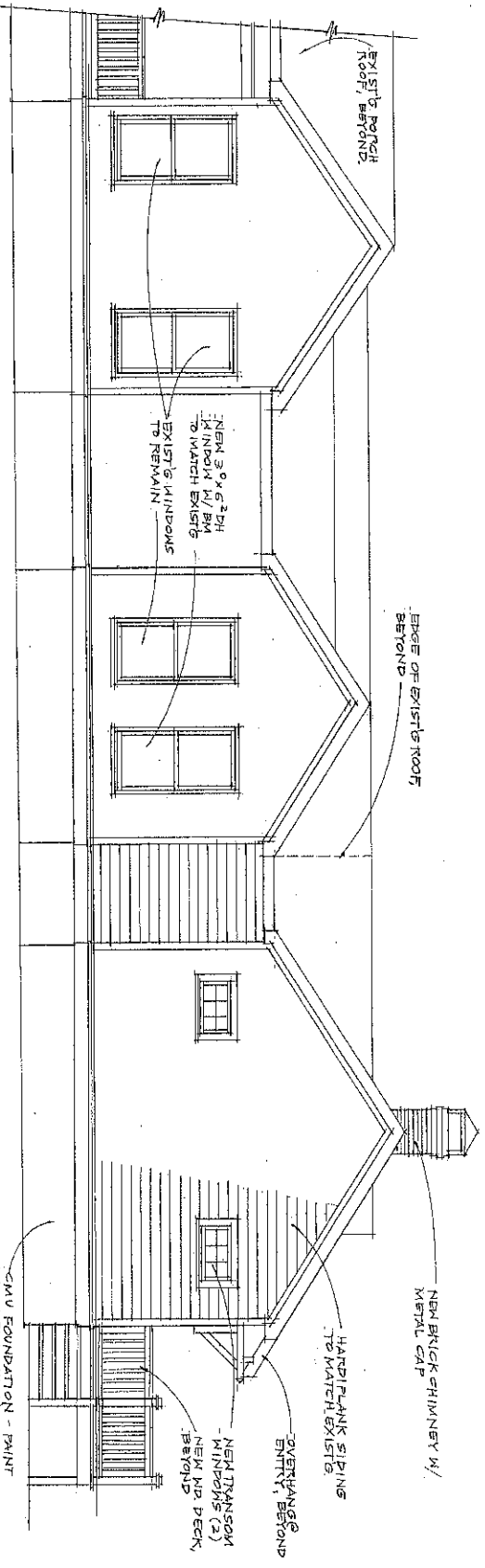
ROOF PLAN
SCALE: 1/4" = 1'-0"

PROPOSED ADDITION FOR
Andy and Shelley Hammond
133 Barry Street, Decatur, GA 30030

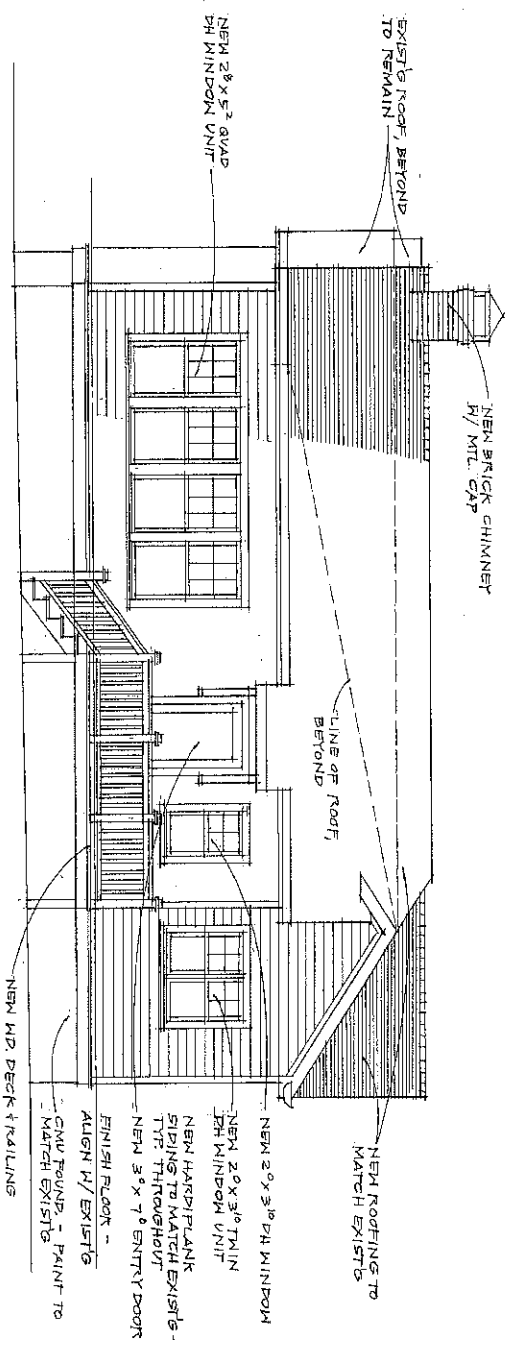
John Steven Conway, R.A.
ARCHITECT
307 Glenn Circle, Decatur, GA 30030
Office: 404-378-5787

REVISIONS	BY

Date: 1-23-14
Scale: NOTED
Drawn: JSC
Job:
Sheet: A-2
Of: 4 Sheets



RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"



REAR ELEVATION SCALE: 1/4" = 1'-0"

REVISIONS	BY

John Steven Conway, R.A.
 ARCHITECT
 307 Glenn Circle, Decatur, GA 30030
 Office: 404-378-5787

PROPOSED ADDITION FOR
 Andy and Shelley Hammond
 133 Barry Street, Decatur, GA 30030

Date: 1-23-14
 Scale: NOTED
 Drawn: JSC
 Job:
 Sheet: A-3
 Of 4 Sheets



Sheet
A-4
Of 4 Sheets

NEW ADDITION * EXIST'G HOUSE
TO REMAIN

MEMPHIS
D. BACK

LINE OF NEW ROOF
BEYOND
NEW HARD PLANK
SIDING TO MATCH
EXISTG.

NEW CHIMNEY, BEYOND

- NEW ROOF TO MATCH EXISTING.
- LINE OF EXISTING ROOF

EXISTING WINDOWS
TO REMAIN

PROPOSED ADDITION FOR

Andy and Shelley Hammond

133 Barry Street, Decatur, GA 30030

John Steven Conway, R.A.
ARCHITECT

307 Glenn Circle, Decatur, GA 30030

Office: 404-378-5787

REVISIONS	BY



7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.

The rear, single story addition will have a negligible effect on the supply of light and air to the adjacent property (there is an existing eight foot privacy fence between our property and the adjacent property to the north and the roof ridge of the proposed addition is within inches of the existing ridge heights). There will be no effect on the danger of fire and public safety. The addition will likely have a positive impact on property values. The addition and overall site plan have also been designed to ensure that all existing off street parking (3 vehicles) will be maintained and that the existing joint driveway agreement (DeKalb County, Georgia; Deed Book 9534 Page 372) will not be violated. This will ensure that traffic and parking on public streets will not be affected by this addition.


8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

Granting a variance recognizes the unique circumstances of many older homes in the vicinity and in similar neighborhoods within the City of Decatur (nonconforming R-60 lots, narrowness of lots and side yards, nonstandard positioning of dwellings on lots, and joint driveways); recognizes that many structures were built or modified under previous zoning requirements (or an absence of zoning requirements); and recognizes the need for flexibility in applying zoning requirements to the enlargement or extension of existing dwellings. The granting of this variance will allow us to build a rear addition that is architecturally appropriate for the existing dwelling and in harmony with the size, scale, design, and rear setbacks of the adjoining principal buildings. This will help maintain (and enhance) Decatur's "small town character" and "the individual character and identity of established neighborhoods" while avoiding "haphazard" and "random" development. The proposed rear addition represents a significant financial investment into our house as well as an enhancement to the exterior aesthetics and usability of our home. As such, this project represents an investment in the neighborhood and the City of Decatur as a whole.

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



Signature of Applicant



Signature of Applicant

Date: 2/17/2014

February 15, 2014

City of Decatur, Georgia
Zoning Board of Appeals
509 North McDonough Street
Decatur, Georgia, 30030

RE: 133 Barry St, Decatur, Georgia – variance from the minimum side yard requirements for the proposed rear expansion of the home

Dear Zoning Board of Appeals:

This letter and my signature below confirm that Andy & Shelley Hammond have met with me to review their plans to build a single story addition off the rear of their residence at 133 Barry St Decatur, Georgia 30030 and my understanding that they are seeking a variance from the City of Decatur, Georgia to do so. They are seeking a variance of 4 feet from the left (northern) side of their property line, for a distance of approximately 6.5 feet, and a variance of 1.9 feet from the left (northern) side of their property line, for a distance of approximately 5.5 feet. I live immediately to the left (northern) side of their property at 143 Barry St Decatur, GA 30030 and have resided at this address for approximately 60 years.

I have also been informed of the Zoning Board of Appeals meeting where their application will be reviewed:

- Monday, March 10th, 2014 at 7:30 p.m.

I fully support Andy & Shelley Hammond's request for the variance referenced above, and to the extent necessary grant the City of Decatur, Georgia permission to allow Andy & Shelley Hammond the variance. I have provided this support voluntarily and prior to signing this letter was provided the opportunity to carefully review it and freely make any corrections and/or additions.

Sincerely,



Charles King (adjacent property owner)
143 Barry St
Decatur, GA 30030

February 16, 2014

City of Decatur, Georgia
Zoning Board of Appeals
509 North McDonough Street
Decatur, Georgia, 30030

RE: 133 Barry St, Decatur, Georgia – variance from the minimum side yard requirements for the proposed rear expansion of the home

Dear Zoning Board of Appeals:

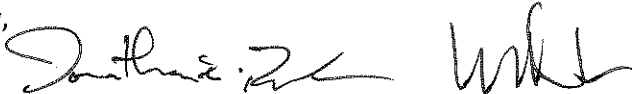
This letter and my signature below confirm that Andy & Shelley Hammond have met with me to review their plans to build a single story addition off the rear of their residence at 133 Barry St Decatur, Georgia 30030 and my understanding that they are seeking a variance from the City of Decatur, Georgia to do so. They are seeking a variance of 4 feet from the left (northern) side of their property line, for a distance of approximately 6.5 feet, and a variance of 1.9 feet from the left (northern) side of their property line, for a distance of approximately 5.5 feet. I live immediately to the right (southern) side of their property at 129 Barry St Decatur, GA 30030 and have resided at this address for approximately 17 years.

I have also been informed of the Zoning Board of Appeals meeting where their application will be reviewed:

- Monday, March 10th, 2014 at 7:30 p.m.

I fully support Andy & Shelley Hammond's request for the variance referenced above, and to the extent necessary grant the City of Decatur, Georgia permission to allow Andy & Shelley Hammond the variance. I have provided this support voluntarily and prior to signing this letter was provided the opportunity to carefully review it and freely make any corrections and/or additions.

Sincerely,

Two handwritten signatures in black ink. The first signature is cursive and appears to read 'Jonathan Rembert'. The second signature is also cursive and appears to read 'Lisa Rembert'.

Jonathan & Lisa Rembert (adjacent property owners)
129 Barry St
Decatur, GA 30030

February 16, 2014

City of Decatur, Georgia
Zoning Board of Appeals
509 North McDonough Street
Decatur, Georgia, 30030

RE: 133 Barry St, Decatur, Georgia – variance from the minimum side yard requirements for the proposed rear expansion of the home

Dear Zoning Board of Appeals:

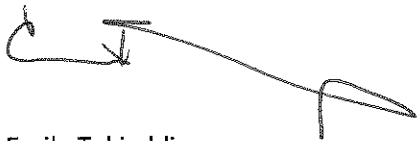
This letter and my signature below confirm that Andy & Shelley Hammond have met with me to review their plans to build a single story addition off the rear of their residence at 133 Barry St Decatur, Georgia 30030 and my understanding that they are seeking a variance from the City of Decatur, Georgia to do so. They are seeking a variance of 4 feet from the left (northern) side of their property line, for a distance of approximately 6.5 feet, and a variance of 1.9 feet from the left (northern) side of their property line, for a distance of approximately 5.5 feet. I live directly across the street (to the west) from their property at 136 Barry St Decatur, GA 30030 and have resided at this address for approximately 2 years.

I have also been informed of the Zoning Board of Appeals meeting where their application will be reviewed:

- Monday, March 10th, 2014 at 7:30 p.m.

I fully support Andy & Shelley Hammond's request for the variance referenced above, and to the extent necessary grant the City of Decatur, Georgia permission to allow Andy & Shelley Hammond the variance. I have provided this support voluntarily and prior to signing this letter was provided the opportunity to carefully review it and freely make any corrections and/or additions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Emily Takieddine', with a long horizontal stroke extending to the right.

Emily Takieddine
136 Barry St
Decatur, GA 30030

February 15, 2014

City of Decatur, Georgia
Zoning Board of Appeals
509 North McDonough Street
Decatur, Georgia, 30030

RE: 133 Barry St, Decatur, Georgia – variance from the minimum side yard requirements for the proposed rear expansion of the home

Dear Zoning Board of Appeals:

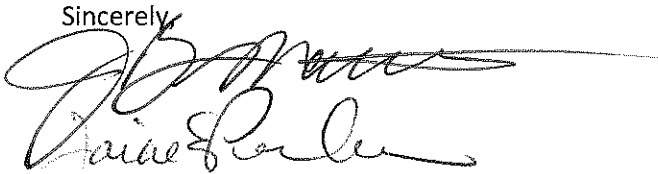
This letter and my signature below confirm that Andy & Shelley Hammond have met with me to review their plans to build a single story addition off the rear of their residence at 133 Barry St Decatur, Georgia 30030 and my understanding that they are seeking a variance from the City of Decatur, Georgia to do so. They are seeking a variance of 4 feet from the left (northern) side of their property line, for a distance of approximately 6.5 feet, and a variance of 1.9 feet from the left (northern) side of their property line, for a distance of approximately 5.5 feet. I live across the street (to the west) from their property at 130 Barry St Decatur, GA 30030 and have resided at this address for approximately 7 years.

I have also been informed of the Zoning Board of Appeals meeting where their application will be reviewed:

- Monday, March 10th, 2014 at 7:30 p.m.

I fully support Andy & Shelley Hammond's request for the variance referenced above, and to the extent necessary grant the City of Decatur, Georgia permission to allow Andy & Shelley Hammond the variance. I have provided this support voluntarily and prior to signing this letter was provided the opportunity to carefully review it and freely make any corrections and/or additions.

Sincerely,

The block contains two handwritten signatures in black ink. The first signature is for James Matthews and the second is for Jaine Perlman. Both signatures are written in a cursive, flowing style.

James Matthews and Jaine Perlman
130 Barry St
Decatur, GA 30030

Development Department Staff Report
March 2014

Applicant: Alan Corey
Address of Property: 538 East Lake Drive
Present Zoning: R-60 – Single Family Residential

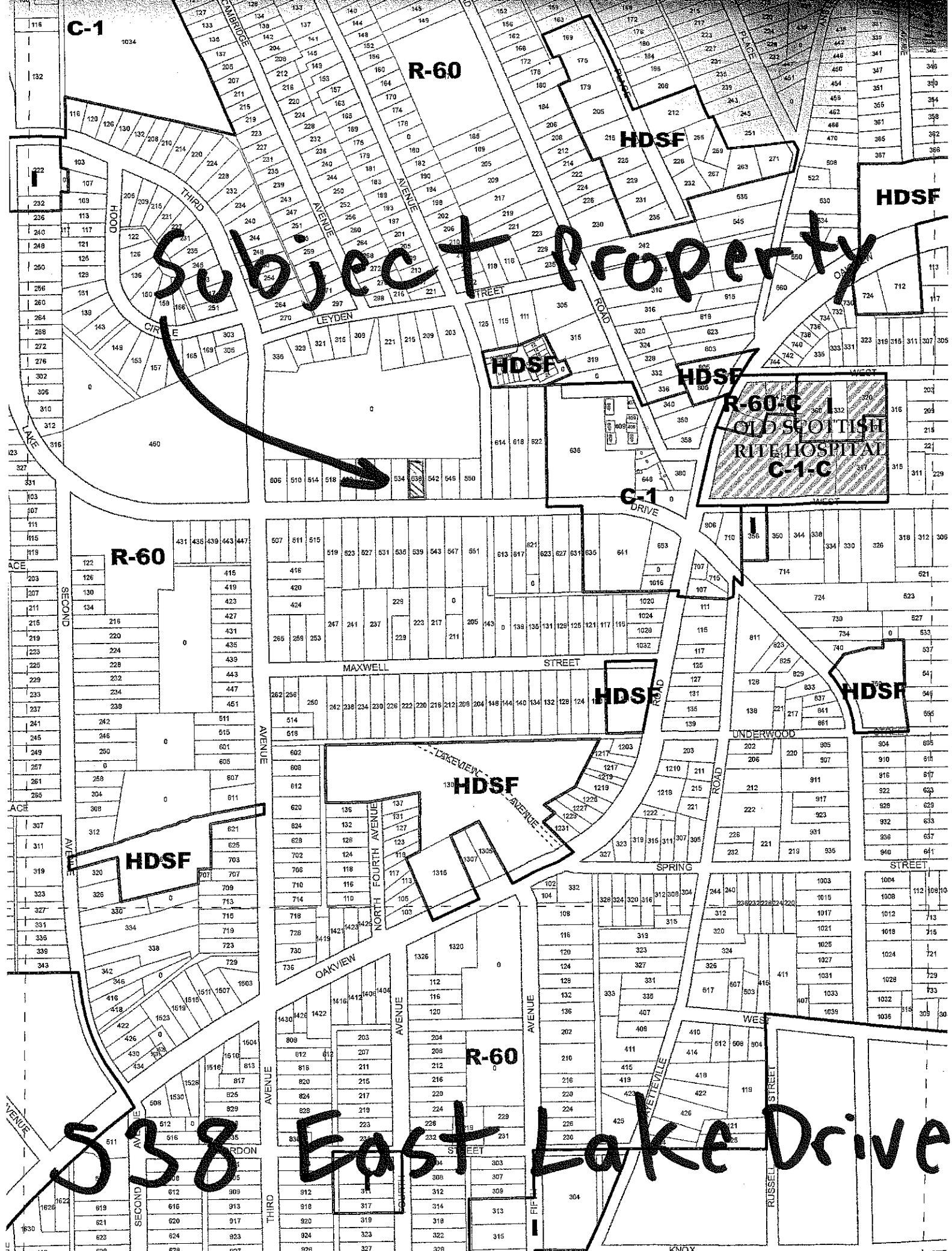
1. Subject property is a 60 foot wide lot with 8,406 square feet of lot area.
2. The applicant wishes to add a second story onto a one-story accessory building located 1.5 feet and 3 feet from the property lines. This is part of a larger project that includes the renovation of the existing house and site. The existing garage is 537 square feet and the second story will add 352 square feet for a total of 889 square feet.

Proposed Project	Existing	Proposed	Ordinance
Nonconforming Accessory Building	One-story accessory building 1.5 feet and 3 feet from the property lines	Two-story accessory building 1.5 feet and 3 feet from the property lines	Maximum 25 foot accessory building minimum 10 feet from property lines

2. Accessory buildings shall not exceed 1,000 square feet of total floor area, including garages and other enclosed storage areas. Such buildings shall not exceed 25 feet in height and 2 stories. Wall height shall not exceed 16 feet with pitched roofs or 18 feet with shed or butterfly roofs for two stories. Wall height shall not exceed 10 feet with pitched roofs or 12 feet with shed or butterfly roofs for 1 story. One-story accessory buildings shall not exceed 16 feet in height. Setbacks for accessory buildings are 3 feet if 1 story and 10 feet if two stories.

The applicant proposes a maximum building height of 23 feet.

4. The proposed project will meet the 40% floor area and lot coverage limits for the site.



C-1

R-60

HDSF

HDSF

Subject Property

HDSF

HDSF

R-60-C-1
OLD SCOTTISH
RITE HOSPITAL
C-1-C

C-1
DRIVE

R-60

HDSF

HDSF

HDSF

HDSF

R-60

538 East Lake Drive



Application for Variance
City of Decatur, Georgia

Please print or type all information

Name of Applicant: Alan Corey

Address: 538 Eastlake Drive
Decatur, 30030

Telephone: 646-554-3320

Name of Property Owner: Alan Corey

Address: 538 Eastlake Drive
Decatur, 30030

Telephone: 646-554-3320

Address of property for which variance is sought:

538 Eastlake Drive

Fee: Please include a check in the amount of \$100 payable to the City of Decatur.

Attachments: Attach a survey of the property and scale drawings showing existing and proposed improvements. Provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to have floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner.

Please provide the following information. All questions must be answered.

1. What is the variance requested? What code requirement do you wish to vary from? Side yard setback

2. What are the extraordinary and exceptional conditions pertaining to the specific piece of property in question (narrowness, shallowness, shape or topography)?

The garage is Existing (Two car) we wish to keep the Existing structure to park our car, we would add on to the Right side of the Existing structure (away from the nearest set back line) then add a small 300^{sq}/ft studio/office

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

By keeping the integrity of the Existing structure to work from

4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?

Other houses in the neighborhood have similar structures.

5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.

Keeping the Existing garage and slab.

Creating the studio/office space will decrease the need for a larger house on the lot. (which could easily be built without requiring a variance) House F.A.R = $2464 = 29.35\%$

6. Did the condition for which the variance is sought result from an action by the applicant?

This is correct

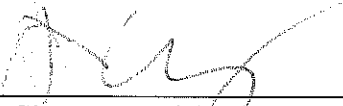
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on the public streets, the danger of fire, the public safety and established property values.

It would have NO EFFECT

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

The garage/studio is at the rear of the property.
Decrease the need for a larger house on the lot

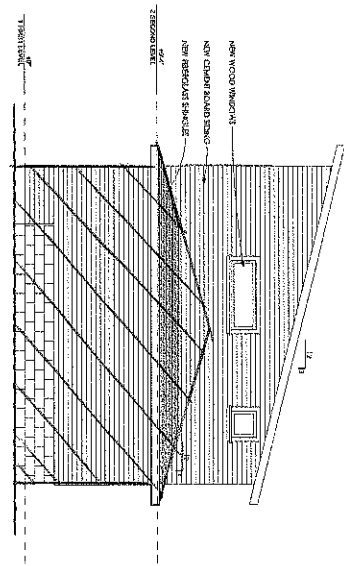
I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.



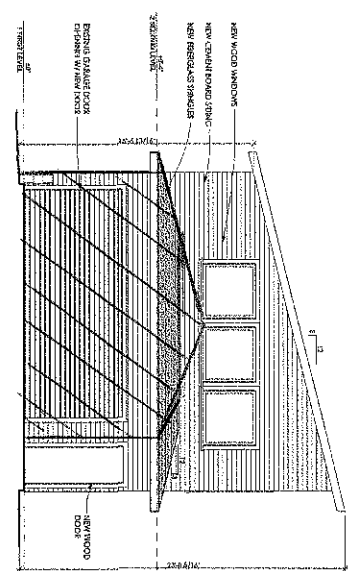
Signature of Applicant

Date: 2/17/14

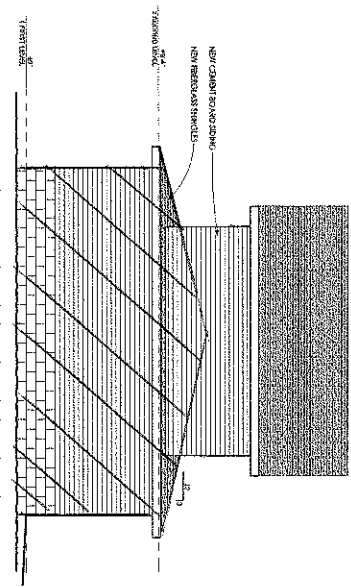
p: 678.344.6948
f: 678.261.1498



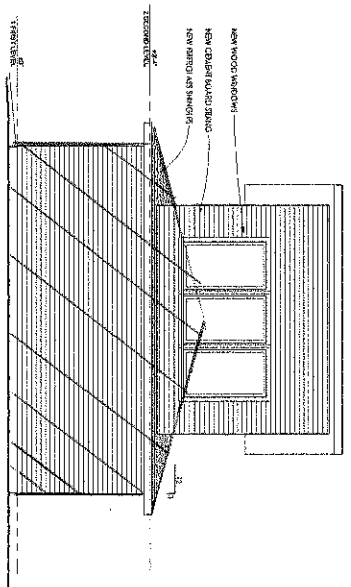
5 REAR ELEVATION
SCALE 1/8" = 1'-0"



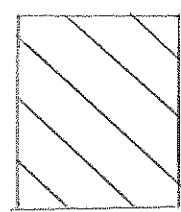
3 FRONT ELEVATION
SCALE 1/8" = 1'-0"



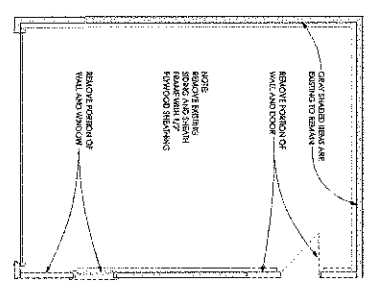
6 LEFT ELEVATION
SCALE 1/8" = 1'-0"



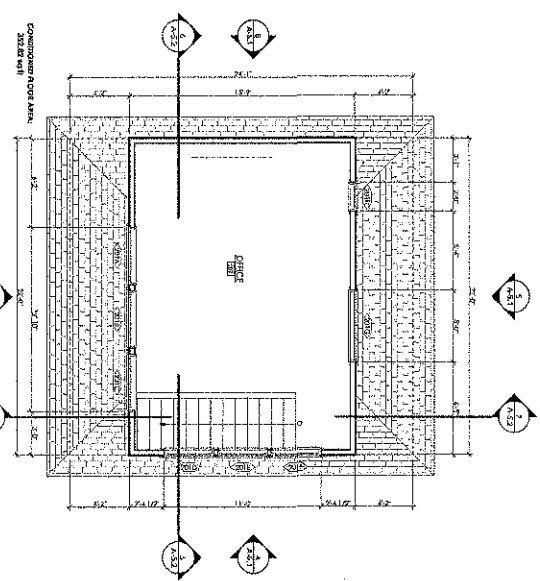
4 RIGHT ELEVATION
SCALE 1/8" = 1'-0"



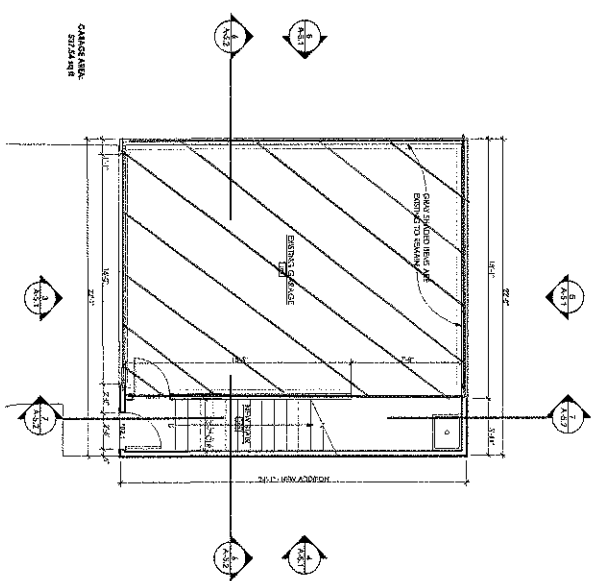
Existing Garage



7 FIRST LEVEL DEMOLITION PLAN
SCALE 1/8" = 1'-0"



2 SECOND LEVEL PLAN
SCALE 1/8" = 1'-0"



1 FIRST LEVEL PLAN
SCALE 1/8" = 1'-0"

Rawlings Design, Inc.
 11111 N. 111th St., Suite 100
 Dallas, TX 75243
 Phone: (214) 343-1111
 Fax: (214) 343-1112
 Email: info@rawlingsdesign.com
 Website: www.rawlingsdesign.com

REVISIONS

No.	Description	Date
1	Initial Design	1/20/14

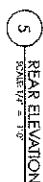
RELATED FOR CONSTRUCTION

Project Number: 1312

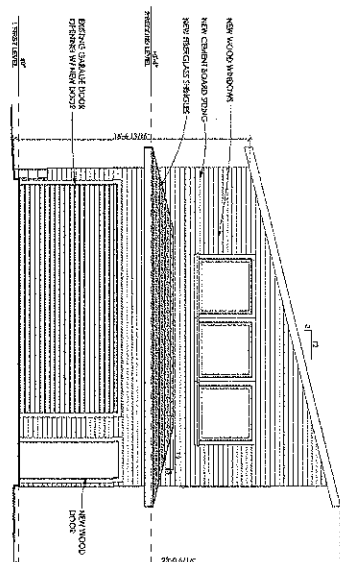
COREY RESIDENCE
 538 EAST LAKE DRIVE
 DECATUR, GA 30030
 ALAN & SADIA COREY

A-5.1

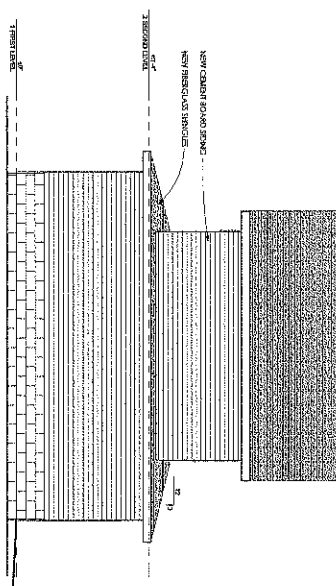
Design Development
 George Dunnington



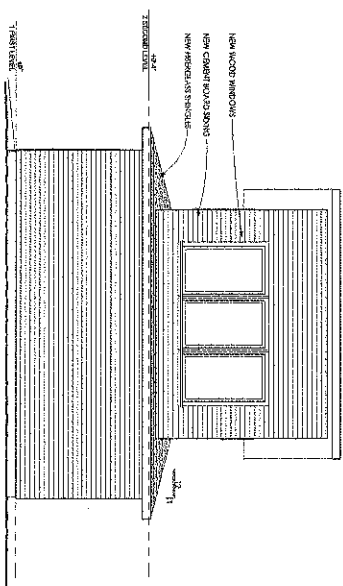
3 FRONT ELEVATION
SCALE 1/4" = 1'-0"



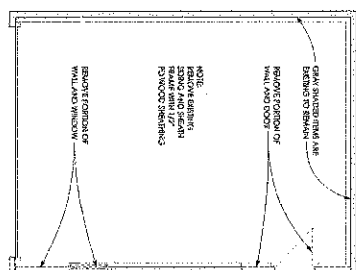
3 FRONT ELEVATION
SCALE 1/4" = 1'-0"



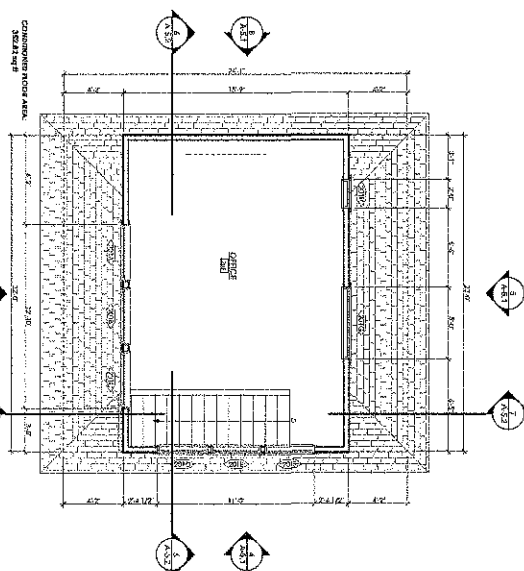
6 LEFT ELEVATION
SCALE 1/4" = 1'-0"



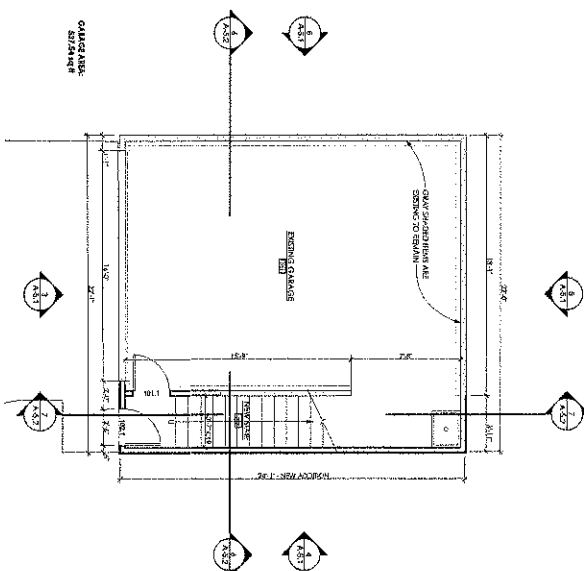
4
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



7 FIRST LEVEL DEMOLITION PLAN
SCALE 1/4" = 1'-0"



2 SECOND LEVEL PLAN
SCALE 1/4" = 1'-0"



1 FIRST LEVEL PLAN
SCALE 1/4" = 1'-0"

538 Eastlake drive/ Garage addition

I / WE Gabriel Gordon
Print name

Have reviewed the plans for the addition to the existing rear yard garage, proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance will be required for the garage to be completed to the plans presented to me. As a neighbor to the address 538 Eastlake drive,

I / WE AGREE / DISAGREE with the proposed project.

542 E. Lake Dr.

Address 678-399-3707

Contact # or email Gabriel Gordon

Signed _____ date _____

538 Eastlake drive/ Garage addition

I/WE Amy Herriot
Print name

Have reviewed the plans for the addition to the existing rear yard garage, proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance will be required for the garage to be completed to the plans presented to me. As a neighbor to the address 538 Eastlake drive,

I/WE AGREE / ~~DISAGREE~~ with the proposed project.

(Next door neighbor)
534 E Lake Dr. Decatur Ga 30030

Address 404-791-4542

Contact # or email

Signed Amy Herriot

2/12/14
date

538 Eastlake drive/ Garage addition

I / WE Margaret Scullin
Print name

Have reviewed the plans for the addition to the existing rear yard garage,
proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance
will be required for the garage to be completed to the plans presented to me.
As a neighbor to the address 538 Eastlake drive,

I / WE AGREE / DISAGREE with the proposed project.

530 E. Lake Dr.

Address
404-395-3699

Contact # or email

Margaret Scullin
Signed

2/12/14
date

538 Eastlake drive/ Garage addition

I / WE Jeff Gebhart
Print name

Have reviewed the plans for the addition to the existing rear yard garage,
proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance
will be required for the garage to be completed to the plans presented to me.
As a neighbor to the address 538 Eastlake drive,

I / WE AGREE / DISAGREE with the proposed project.

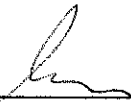
543 E Lake Dr
Address

404 229 8776
Contact # or email

[Signature]
Signed

2/12/11
date

538 Eastlake drive/ Garage addition

I / WE Steve Starnes 
Print name

Have reviewed the plans for the addition to the existing rear yard garage,
proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance
will be required for the garage to be completed to the plans presented to me.
As a neighbor to the address 538 Eastlake drive,

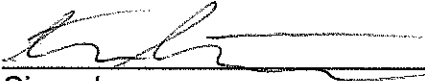
I / WE AGREE / DISAGREE with the proposed project.

538 East Lake Dr, Decatur GA 30030

Address

SStarnes216@A+.net 404-348-7905

Contact # or email


Signed

2/12/14
date

538 Eastlake drive/ Garage addition

I / WE

Print name

Have reviewed the plans for the addition to the existing rear yard garage, proposed for 538 Eastlake drive, Decatur 30030 and fully understand a variance will be required for the garage to be completed to the plans presented to me. As a neighbor to the address 538 Eastlake drive,

I / WE AGREE / DISAGREE with the proposed project.

535 East Lake Drive Decatur, GA 30030

Address

Contact # or email

Signed

date

2.12.14